

OWNER

THE HUXLEY

717 COLUMBIA LANE
PROVO, UT 84604
801-375-6776

ARCHITECT/STRUCTURAL ENGINEER



909 West South Jordan Parkway
south jordan , utah 84095
phone: 801.746.0456 - fax: 801.575.6456
webpage: aeurbia.com

CIVIL ENGINEER



52 West 100 North
Heber City, Utah 84032
PH: 435.654.4828 office
legendengineering.com

LANDSCAPE ARCHITECT



Urban Designers
Land Planners
Landscape Architects
145 West 200 South
Salt Lake City, Utah 84101
Tel (801) 364-9696
Fax (801) 364-9719
www.grassgroup.com

MECHANICAL ENGINEER

ELECTRICAL ENGINEER



717 COLUMBIA LANE PROVO, UT 84604
801-375-6776

GENERAL CONTRACTOR

These drawings and the design shown have been prepared for this specific project as an instrument of service and shall remain the sole property of AE Urbia Architects and Engineers and their consultants. Any reproduction, copying or use other than for this specific project is prohibited without the prior written consent of AE Urbia Architects and Engineers. Any prohibited use of these drawings or design shown are subject to legal action.

THE HUXLEY

74 S. 600 W. SALT LAKE CITY, UT

PLANNED DEVELOPMENT APPLICATION RESUBMITTAL 09 APRIL 2021

GENERAL NOTES:

- VISITS TO THE JOB SITE BY REPRESENTATIVE OF THE ENGINEER DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTORS AND ARE MERELY FOR THE PURPOSE OF OBSERVING THE WORK PERFORMED.
- CONTRACTOR SHALL NOTIFY ENGINEER / ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND / OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK. INVOLVED IN ALL CASES UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC., AT THE SITE AND SHALL COORDINATE WORK PERFORMED BY ALL TRADES. DO NOT SCALE DRAWINGS.
- SHOP DRAWINGS AND SUBMITTALS SHALL BE REVIEWED BY THE ENGINEER / ARCHITECT AND TENANT PRIOR TO FABRICATION OR ERECTION FOR ANY PREFABRICATED OR MANUFACTURED - DESIGNED COMPONENTS.
- SIZES, LOCATIONS, LOADS, AND ANCHORAGE OF EQUIPMENT SHALL BE VERIFIED IN THE FIELD WITH EQUIPMENT MANUFACTURERS (SUPPLIERS) PRIOR TO FABRICATION OR INSTALLATION OF SUPPORTING STRUCTURES.
- TEMPORARY BRACING SHALL BE PROVIDED WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING WIND. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY, OR UNTIL ALL THE STRUCTURAL ELEMENTS ARE COMPLETED. ALL BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DURING AND AFTER CONSTRUCTION THE CONTRACTOR AND / OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN LOAD.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS AS STATED IN THE 2015 INTERNATIONAL BUILDING CODE, (OR LATEST ACCEPTED CODE ADOPTED BY THE LOCAL BUILDING OFFICIALS), AND LOCAL ORDINANCES.
- ANY SPECIAL INSPECTION REQUIRED BY THE BUILDING OFFICIAL OR THE INTERNATIONAL BUILDING CODE ARE THE RESPONSIBILITY OF THE CONTRACTOR AND PAID BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE JOB SITE.
- ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE, AND LOCAL ORDINANCES. ALL PLUMBING WORK AND FIXTURES MUST MEET THE APPROVAL OF THE OWNER, CONTRACTOR, ARCHITECT/ENGINEER, TENANT AND THE BUILDING OFFICIAL.
- ALL HVAC WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE, AND LOCAL ORDINANCES. HVAC WORK, UNITS, AND CONTROLS, MUST MEET THE APPROVAL OF THE OWNER, CONTRACTOR, ARCHITECT/ENGINEER, TENANT, AND THE BUILDING OFFICIAL.
- CONSTRUCTION MUST BE IN COMPLIANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE.
- CONSTRUCTION MUST BE IN COMPLIANCE WITH THE CURRENT INTERNATIONAL FIRE CODE.
- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ICC ELECTRICAL CODE AND LOCAL ORDINANCES. ALL ELECTRICAL WORK, FIXTURES, SWITCHES, ETC., MUST MEET APPROVAL OF THE OWNER, CONTRACTOR, ARCHITECT / ENGINEER, TENANT AND BUILDING OFFICIAL.
- REST ROOMS, ETC., SHALL COMPLY WITH THE LATEST ADA REQUIREMENTS, NATIONAL AND LOCAL.
- ALL WORK MUST MEET THE APPROVAL OF THE BUILDING OWNERS, THE TENANT, THE DESIGNER, AND THE BUILDING AND ZONING DEPARTMENTS.
- ALL FURNITURE, PLANTS, INTERIOR SIGNAGE, FILES / FILING CABINETS, APPLIANCES, OFFICE EQUIPMENT TO BE FURNISHED, INSTALLED AND PAID FOR BY THE TENANT.
- ANY AND ALL CHANGES OR VARIATIONS FROM THESE DOCUMENTS MUST BE APPROVED IN WRITING PRIOR TO MAKING THEM.
- DO NOT SCALE DRAWINGS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKE OFFS OR CALCULATIONS BASED ON DIGITAL MEDIA, REFER TO PRINTED DIMENSIONS ONLY, DRAWINGS OF A LARGER SCALE TAKE PRECEDENT OVER DRAWINGS OF A SMALLER SCALE.
- FIRE ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.

BUILDING CODES:

ALL CONSTRUCTION IN ASSOCIATION WITH THIS PROJECT SHALL COMPLY WITH THE STATE ADOPTED CODES LISTED BELOW:

- 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), INCLUDING APPENDIX J
- 2017 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
- 2018 EDITION OF THE INTERNATIONAL PLUMBING CODE (IPC)
- 2018 EDITION OF THE INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 EDITION OF THE INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL FUEL GAS CODE
- ICC/ANSI A117.1-2009
- UTAH STATE AMENDMENTS TO THE ABOVE MENTIONED CODES.



PROJECT DATA

G-MU ZONE	
SITE BOUNDARY	47,900 SF (1.10 ACRES)
2 LEVELS CONCRETE STRUCTURED PARKING (TYPE I CONSTRUCTION)	
5 LEVELS WOOD-FRAMED HOUSING (TYPE III CONSTRUCTION)	
CLUBHOUSE / FITNESS	2,093 SF
BUILDING FOOTPRINT	45,510 SF (+/-)
LEASING OFFICE	2,234 SF
BUILDING HEIGHT ALLOWED	75'
BUILDING HEIGHT PROPOSED	75'-0"
FRONT SETBACK	0'
(MIN. 25% OF FACADE SHALL BE BUILT TO WITHIN 5' OF STREET RIGHT-OF-WAY)	
SIDE YARD SETBACK	0'
REAR YARD SETBACK	0'

UNIT MATRIX

1-BR A	15 UNITS	34%
1-BR B	29 UNITS	
1-BR C	20 UNITS	
1-BR D	12 UNITS	
1-BR E	1 UNIT	
1-BR LUX A	5 UNITS	33%
1-BR LUX B	26 UNITS	
1-BR LUX C	14 UNITS	
1-BR LUX D	30 UNITS	
2-BR A	5 UNITS	9%
2-BR B	16 UNITS	
STUDIO A	15 UNITS	24%
STUDIO B	27 UNITS	
STUDIO C	11 UNITS	
TOTAL	226 UNITS	
DENSITY:	205 UNITS / ACRE	

REQUIRED/ALLOWED PARKING

TOTAL STALLS	113 (5 STALLS/UNIT)
ADA STALLS REQ'D	5
BICYCLE PARKING REQ'D	6 (5%)
LOADING STALLS REQ'D	0

PROVIDED PARKING

ON-STREET PARKING	16
INTERIOR GARAGE STALLS	164
TOTAL STALLS	180 (8 STALLS/UNIT)
ADA STALLS	6
BICYCLE PARKING	6
LOADING STALLS	0

21A.44.050.C.4 TRANSPORTATION DEMAND MANAGEMENT

AN INCREASE IN THE NUMBER OF PARKING STALLS ALLOWED IS BEING PROPOSED BY PROVIDING THE FOLLOWING:

- 1) AN ON-PREMISES GYM OR WORKOUT FACILITY FOR RESIDENTS OR EMPLOYEES WITH AT LEAST FOUR HUNDRED (400) SQUARE FEET OF SPACE DEDICATED TO WORKOUT EQUIPMENT (MAJOR TRANSPORTATION DEMAND MANAGEMENT STRATEGY) - SEE FITNESS ROOM, SHEET A103
- 2) PERMANENTLY SHELTERED, COVERED OR SECURE FACILITIES FOR THE REQUIRED BICYCLE PARKING (MINOR TRANSPORTATION DEMAND MANAGEMENT STRATEGY) - SEE PARKING GARAGE, SHEET A102

PARKING REQUIRED

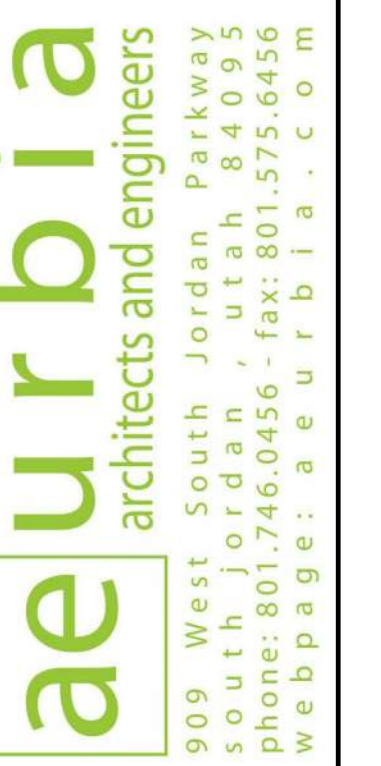
0.5 STALLS PER UNIT (SLC STANDARDS)
0.8 STALLS PER UNIT (PROPOSED BY OWNERSHIP)

PARKING PROVIDED

MAIN LEVEL	78 (INCL. 6 ADA STALLS)
RAMP	36
SECOND LEVEL	50
TOTAL	164 STALLS (733 STALLS/UNIT)

APPROX. 16 STREET STALLS AVAILABLE (.80 STALLS/UNIT)

PARKING STALL COUNTS, UNIT COUNTS AND SIZES ARE SUBJECT TO CHANGE AFTER ACCOUNTING FOR:
• JURISDICTION REQUIREMENTS
• SECONDARY BUILDING SPACES (MECH. ELEC. TELECOMM., JANITOR, ETC.)
• UTILITY REQUIREMENTS (GAS & ELECT METERS, GENERATOR ROOM, ETC.)



THE HUXLEY
MILLER GENERAL CONTRACTORS
74 S. 600 W. SALT LAKE CITY, UT

Revision Schedule
DESCRIPTION
MARK

AE2020.270

COVER

DATE: 4/9/2021
4:12:42 PM

SHEET #:

G001

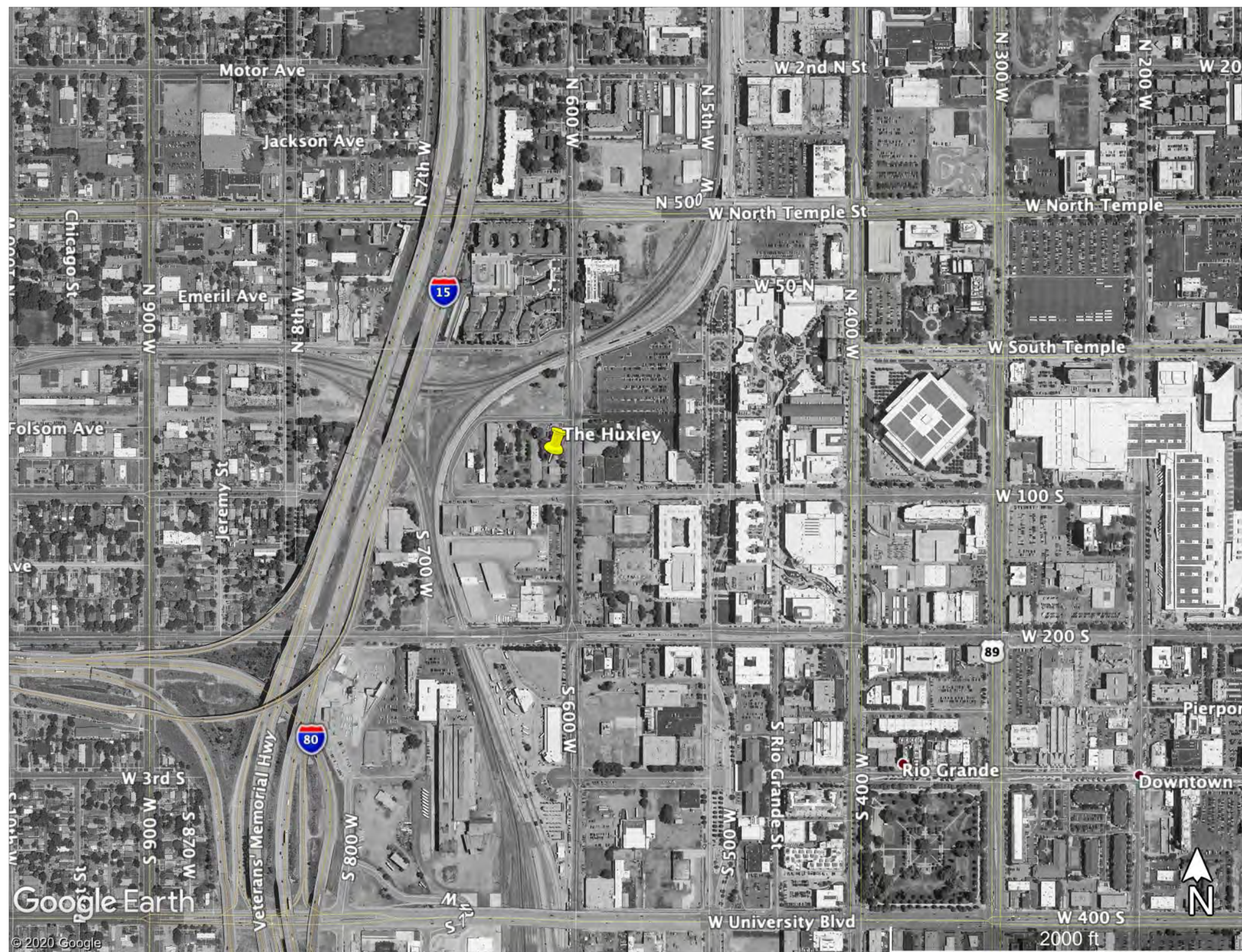
COPYRIGHT ©
AE URBIA, LLC.

THE HUXLEY

74 SOUTH 600 WEST

SALT LAKE CITY, UTAH 84101

VICINITY MAP



INDEX

- C-0 Cover Sheet
- C-N SCLPU General Notes
- C-1 Site Plan
- C-2 Grading Plan
- C-3 Utility Plan
- C-4 Details
- C-5 Stormwater Pollution Prevention Plan
- C-6 SWPPP Details
- C-7 Demolition Plan

OWNER
 MILLER GENERAL CONTRACTORS
 JASON MILLER
 717 WEST COLUMBIA LANE
 PROVO, UTAH 84604
 (801) 375-6776

CIVIL ENGINEER
 LEGEND ENGINEERING
 CAL JOHNSON
 52 WEST 100 NORTH
 HEBER CITY, UTAH 84032
 (435) 654-4828

CONTRACTOR
 MILLER GENERAL CONTRACTORS
 JASON MILLER
 717 WEST COLUMBIA LANE
 PROVO, UTAH 84604
 (801) 375-6776

SURVEYOR
 BENCHMARK ENGINEERING
 & LAND SURVEYING
 BRIAN LINAM
 9138 S STATE STREET
 SUITE #100
 SANDY, UTAH 84070
 (801) 542-7192

ARCHITECT
 AE URBIA
 RYAN MACKOWIAK
 909 WEST SOUTH JORDAN PARKWAY
 SOUTH JORDAN, UTAH 84095
 (801) 746-0456

LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE	———	INVERT ELEVATION	IE
EASEMENT LINE	———	TOP BACK CURB	TBC
CENTER LINE	———	TOP ASPHALT	TA
EXISTING CURB AND GUTTER	====	TOP OF GRATE	TOG
PROPOSED CURB AND GUTTER	====	FINISHED GRADE	FG
PROPOSED WATER LINE	—W—W—	TOP OF CONCRETE	TC
PROPOSED PRESSURIZED IRRIGATION	—PI—PI—	HIGH WATER ELEVATION	HWE
PROPOSED SEWER LINE	—SS—SS—	CATCH BASIN	
PROPOSED STORM DRAIN LINE	—SD—SD—	PROPOSED STREET LIGHT	
EXISTING SEWER LINE	- - -SS- - -SS- - -	STORM DRAIN MANHOLE	
EXISTING WATER LINE	- - -W- - -W- - -	SANITARY SEWER MANHOLE	
EXISTING STORM DRAIN LINE	- - -SD- - -SD- - -	PROPOSED WATER VALVE	
EXISTING CONTOUR			
FINISHED CONTOUR			

LEGEND ENGINEERING
 52 WEST 100 NORTH
 HEBER CITY, UT 84032
 PHONE: 435-654-4828
 www.legendengineering.com

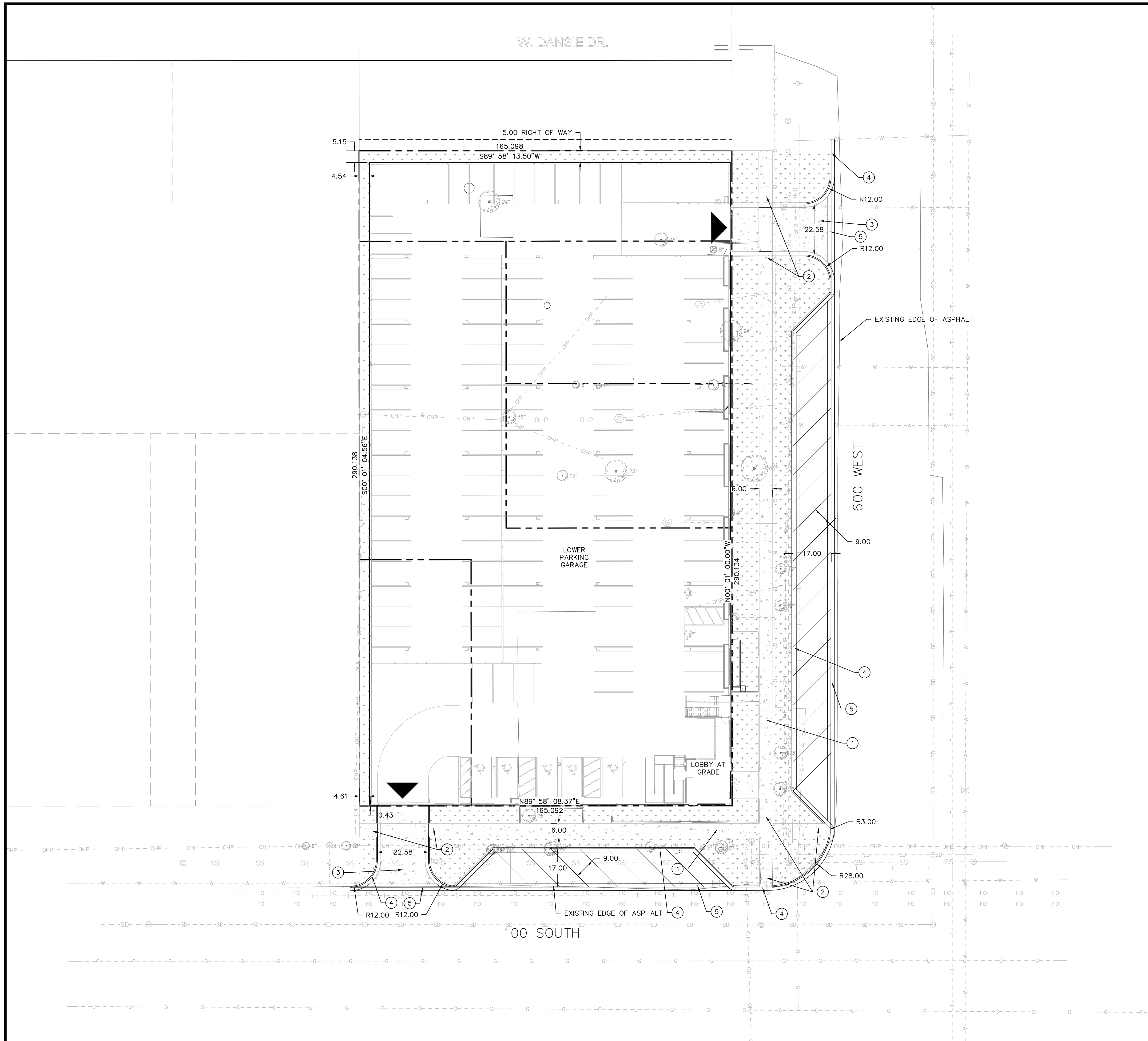


THE HUXLEY
COVER SHEET
74 SOUTH 600 WEST, SALT LAKE CITY, UTAH

SHEET:
C-0

PLANNED DEVELOPMENT

DATE: 12/23/2020



LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
SETBACK LINE	- - - - -
EXISTING FENCE	- - - X - - -
LANDSCAPE AREA	[Pattern]
CONCRETE AREA	[Pattern]
GRADE BREAK	GB
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
BACK OF SIDEWALK	BOW

SITE DATA		
LOT AREA:	47,900	SF (1.10 ACRES)
BUILDING AREA:	45,770	SF± 95.6%
PAVEMENT AREA:	0	SF± 0.00%
LANDSCAPE AREA:	2,130	SF± 4.4%
BUILDING DATA		
ZONE:	G-MU (GATEWAY-MIXED USE ZONE)	
SETBACKS:	FRONT YARD: 0'	
	SIDE YARD: 0'	
	REAR YARD: 0'	
PARKING TABULATION		
REQUIRED:	PLEASE SEE ARCHITECTURAL PLAN.	
PROVIDED:	PLEASE SEE ARCHITECTURAL PLAN FOR GARAGE COUNT. 23 ON-STREET PARKING STALLS	

- NOTES:**
- PROPOSED SIDEWALK PER APWA PLAN 231. SEE SHEET C-4.
 - ALL ADA STALLS AND RAMPS TO BE INSTALLED PER ADA STANDARDS. SEE SHEET C-4.
 - PROPOSED DRIVE APPROACH PER APWA PLAN 225. SEE SHEET C-4.
 - PROPOSED CURB AND GUTTER TYPE E PER APWA PLAN 205.2. SEE SHEET C-4.
 - PROPOSED 3' WATERWAY PER APWA PLAN 211. SEE SHEET C-4.

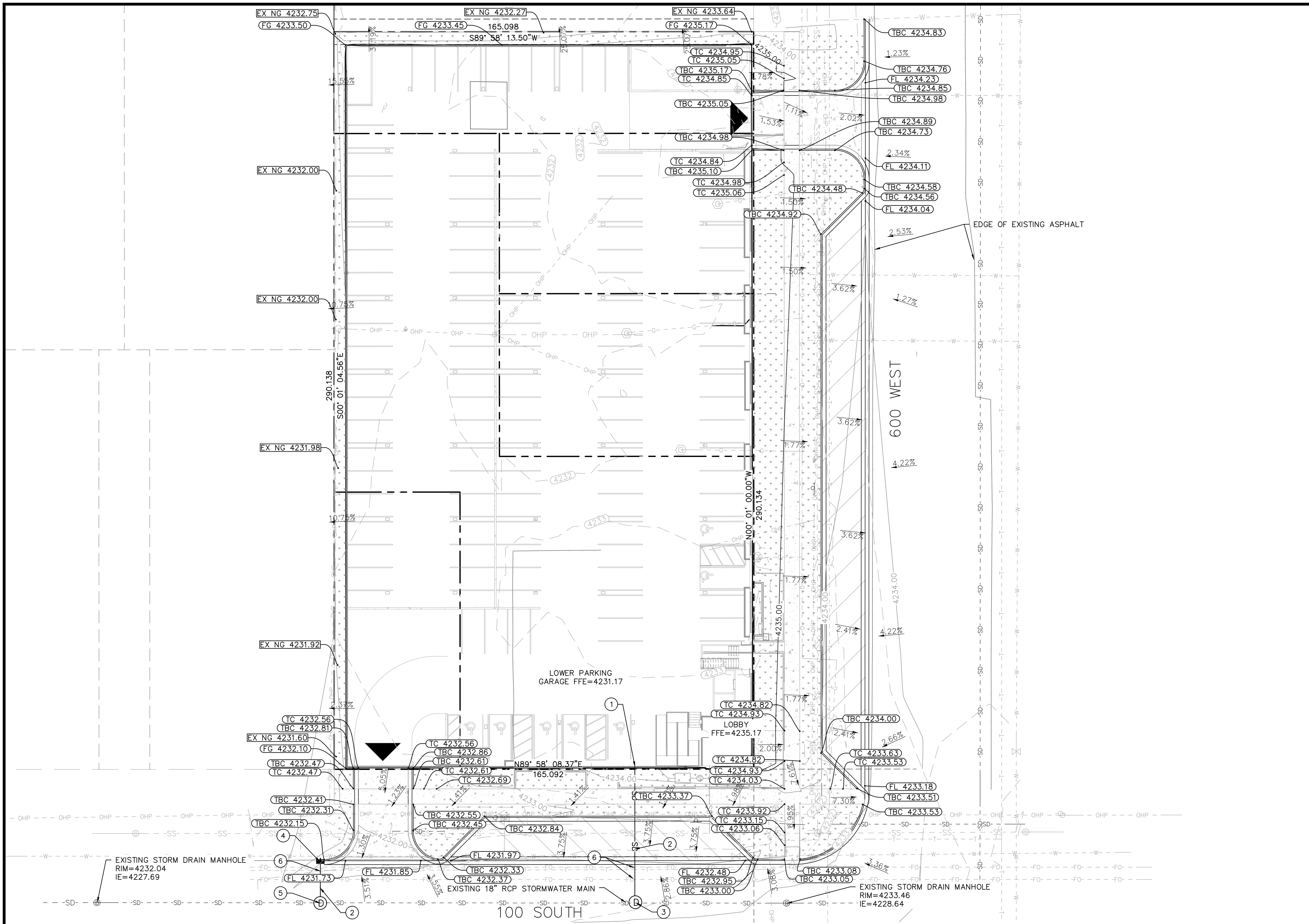
- GENERAL NOTES:**
- CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.


0 20 40 60
1" = 20'
Scale in Feet

NO.	REVISIONS	BY	DATE

LEGEND ENGINEERING
 52 WEST 100 NORTH
 HERRER CITY, UT 84032
 PHONE: 435-654-4828
 www.legendengineering.com

**THE HUXLEY
 SITE PLAN
 74 SOUTH 600 WEST, SALT LAKE CITY, UTAH**







LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
PROPOSED STORM DRAIN LINE	---SD---
EXISTING STORM DRAIN LINE	---SD---
PROPOSED SEWER LINE	---SS---
EXISTING SEWER LINE	---SS---
PROPOSED WATER LINE	---W---
EXISTING WATER LINE	---W---
EXISTING FENCE	---X---
GRADE BREAK	---GRADE BREAK---
FINISH GRADE CONTOUR LINES	4960
EXISTING GRADE CONTOUR LINES	4960
FINISH GRADE SLOPE	SLOPE
GRADE BREAK	GB
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
BACK OF SIDEWALK	BOW
LANDSCAPE AREA	[Pattern]
CONCRETE AREA	[Pattern]

- GENERAL NOTES:
- CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.

- CONNECTION TO BUILDING STORM DRAINAGE PLUMBING AND UNDERGROUND STORAGE SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 18" RCP.
- INSTALL 48" STORM DRAIN MANHOLE.
RIM=4232.96
IE N=4228.53
EX IE=4228.43
- INSTALL CURB INLET CATCH BASIN PER APWA PLAN 315. SEE SHEET C-4 FOR DETAILS.
RIM=4231.65
IE=4228.15
- INSTALL 48" STORM DRAIN MANHOLE.
RIM=4232.33
IE N=4228.10
EX IE=4228.00
- CONTRACTOR TO POTHOLE ALL UTILITY LINES PRIOR TO CONSTRUCTION AND COORDINATE FINDINGS WITH LEGEND ENGINEERING.






NO.	REVISIONS	BY	DATE

LEGEND ENGINEERING

52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
www.legendengineering.com



**THE HUXLEY
GRADING AND DRAINAGE PLAN
74 SOUTH 600 WEST, SALT LAKE CITY, UTAH**



PROPERTY/ROW LINE	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
PROPOSED STORM DRAIN LINE	-SD-
EXISTING STORM DRAIN LINE	-SS-
PROPOSED SEWER LINE	-SS-
EXISTING SEWER LINE	-SS-
PROPOSED WATER LINE	-W-
EXISTING WATER LINE	-W-
EXISTING GAS LINE	-G-
INVERT ELEVATION	IE
PROPOSED	PROP
FINISHED FLOOR ELEVATION	FFE
EXISTING FIRE HYDRANT	
EXISTING WATER VALVE	
EXISTING WATER METER	
EXISTING SEWER MANHOLE	
PROPOSED FIRE HYDRANT	
PROPOSED WATER VALVE	
PROPOSED WATER METER	
PROPOSED SEWER CLEANOUT	
PROPOSED SEWER MANHOLE	

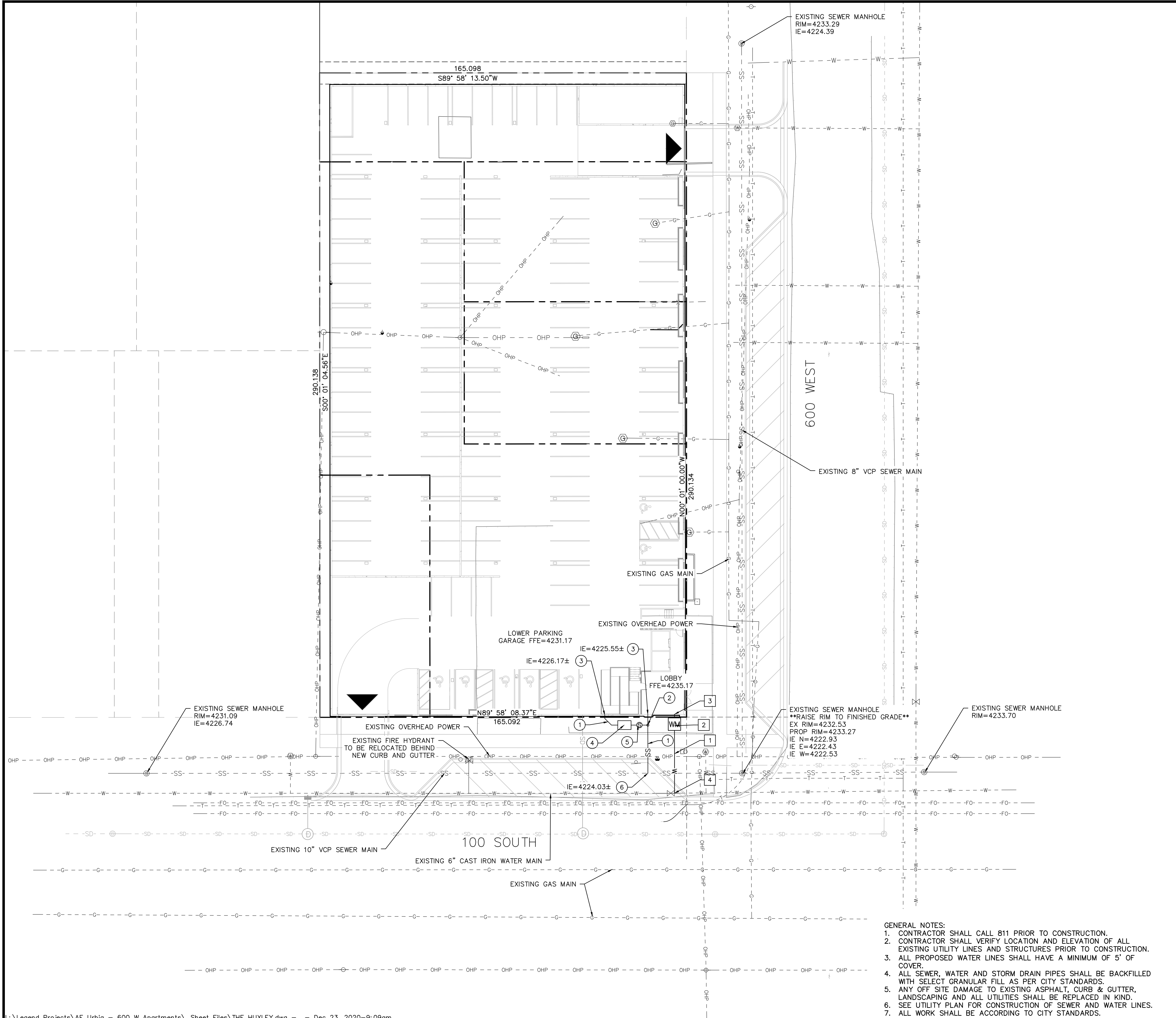
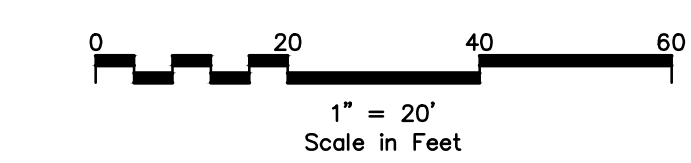
SEWER DESIGN NOTES:

1. INSTALL 6" PVC SDR-35 SEWER PIPE AT 2% SLOPE.
2. INSTALL 4" CLEANOUT.
3. END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
4. INSTALL 1,000 GAL. OIL/WATER SEPARATOR PER APWA PLAN 441. SEE SHEET C-4. RIM=4234.31 IE OUT=4225.79
5. INSTALL 48" SAMPLING MANHOLE PER APWA PLAN 411. SEE SHEET C-4. RIM=4234.30 IE OUT=4225.53
6. CONNECT TO EXISTING SEWER MAIN. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO ANY CONSTRUCTION.

WATER DESIGN NOTES:

1. INSTALL 4" DR-18 C-900 CULINARY WATERLINE.
2. INSTALL 3" WATER METER PER APWA PLAN 523. SEE SHEET C-4.
3. END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
4. CONNECT TO EXISTING WATER MAIN PER CITY STANDARDS.

- GENERAL NOTES:**
1. CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
 3. ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
 4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
 6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 7. ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.



NO.	REVISIONS	BY	DATE

LEGEND ENGINEERING
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
www.legendengineering.com



THE HUXLEY
UTILITY PLAN
74 SOUTH 600 WEST, SALT LAKE CITY, UTAH

Curb and gutter

1. GENERAL
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
B. Additional requirements are specified in APWA Section 12 16.13.

2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F-1 full depth, APWA Section 32 13 73.
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete curing (spider cracks) may develop if air temperature exceeds 90 degrees F.
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type D Class A), APWA Section 03 39 00.

3. EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Expansion Joint Filler: 1/2-inch thick type F-1 full depth, APWA Section 32 13 73.
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete curing (spider cracks) may develop if air temperature exceeds 90 degrees F.
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type D Class A), APWA Section 03 39 00.

1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete slabs when using slipform construction.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
C. Protection and Repair: Protect concrete from degrading chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

205
Sheet 2 of 3

Open driveway approach

1. GENERAL
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
B. Field Changes to Slope Requirements:
1) Grades may have a 5 percent change in slope over a 11 feet wheel base run for both crest or sag.
2) Where heavy truck use and free truck access applies, or to improve design speed, design grades should be cut or half.
3) Specific uses or site conditions may require profile design submitted for review and acceptance.
C. Additional requirements are specified in APWA Section 12 16.13.

2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F-1 full depth, APWA Section 32 13 73.
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete curing (spider cracks) may develop if air temperature exceeds 90 degrees F.
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type D Class A), APWA Section 03 39 00.

3. EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Reinforcement: Not required if driveway apron is constructed without a cold joint.
C. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
D. Protection and Repair: Protect concrete from degrading chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

225
Sheet 1 of 3

Sidewalk

1. GENERAL
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
B. Additional requirements are specified in APWA Section 12 16.13.

2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F-1 full depth, APWA Section 32 13 73.
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete curing (spider cracks) may develop if air temperature exceeds 90 degrees F.
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type D Class A), APWA Section 03 39 00.

3. EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Reinforcement: Not required if driveway apron is constructed without a cold joint.
C. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.

231
Sheet 1 of 3

Corner curb cut assembly

1. GENERAL
A. Where existing elements or spaces are altered to receive an assembly, slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown. Where physical constraints (e.g., utility covers, joints, vaults, etc.) govern construction, a single diagram curb cut assembly may serve both pedestrian street crossings.
B. Installation of faces or curb returns is ENGINEER'S choice.
C. Definitions and supplemental requirements are specified in APWA Section 12 16.14.

2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F-1 full depth, APWA Section 32 13 73.
C. Detachable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light.
D. Concrete: Class 4000, APWA Section 03 30 04.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type D Class A), APWA Section 03 39 00.

3. EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Curbs Modifications:
1) The slope surface created to accommodate a flare area shall be perpendicular to the back of curb.
2) No grade break shall exist between the face and the foot of the curb ramp or between transition. Length of the curb modification shall be measured in inches or transition is 4 feet minimum for each crosswalk break.
C. Curb Ramp: Length not required to exceed 15 feet. Grade breaks are perpendicular to the direction of ramp run and are not permitted on ramp or turning space surface. Slopes are parallel to each other and perpendicular to the curb.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
E. P/C/Pipe: APWA Section 33 05 07.

235
Sheet 1 of 3

Midblock curb cut assembly

1. GENERAL
A. Where existing elements or spaces are altered to receive an assembly, slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown. Where physical constraints (e.g., utility covers, joints, vaults, etc.) govern construction, a single diagram curb cut assembly may serve both pedestrian street crossings.
B. Installation of faces or curb returns is ENGINEER'S choice.
C. Definitions and supplemental requirements are specified in APWA Section 12 16.14.

2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F-1 full depth, APWA Section 32 13 73.
C. Detachable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light.
D. Concrete: Class 4000, APWA Section 03 30 04.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type D Class A), APWA Section 03 39 00.

3. EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Curbs Modifications:
1) The slope surface created to accommodate a flare area shall be perpendicular to the back of curb.
2) No grade break shall exist between the face and the foot of the curb ramp or between transition. Length of the curb modification shall be measured in inches or transition is 4 feet minimum.
C. Curb Ramp: Length not required to exceed 15 feet. Grade breaks are perpendicular to the direction of ramp run and are not permitted on the ramp or turning space surface. Slopes are parallel to each other and perpendicular to the curb.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
E. P/C/Pipe: APWA Section 33 05 07.

236
Sheet 1 of 3

3' and 4' Compound meter with 2" bypass

1. GENERAL
A. Configuration may be changed at ENGINEER'S discretion.
B. Additional requirements are specified in APWA Section 12 16.16.

2. PRODUCTS
A. Small Fittings: Brass. Do not use galvanized materials.
B. Blanking: Cast iron or concrete block.
C. Drain Gasket: Sewer rook, ASTM size no. 1 (2" to 1") or equal, APWA Section 31 05 03.

3. EXECUTION
A. Control Valve: Install valve with valve box adjacent to man.
B. Cover Frame: Install and cover over water meter.
C. Allow 4-inch clearance around meter where water line passes through concrete box wall. Seal opening with compressible seal.

523
Sheet 1 of 3

Catch basin

1. GENERAL
A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
C. Concrete: Class 4000, APWA Section 03 30 04.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.

3. EXECUTION
A. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Curb Face Opening: Make opening at least 1/4 inch higher than 1/4 inch drop between the "warp line" in the gutter/flowline and the top of the grate at the curb face opening.
C. Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
D. Backfill: Place backfill against the drain wall. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jacking is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

315
Sheet 1 of 3

Precast manhole

1. GENERAL
A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the manhole.
B. Manhole size:
1) Diameter is 4 feet. For pipe under 12" diameter.
2) Diameter is 5 feet. For pipe 12" and larger, or when 3 or more drain pipes intersect the manhole.
C. Wall thickness:
1) Precast reinforced concrete walls a 3/4" minimum.
2) Cast-in-place concrete to be 8 inches thick minimum.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.

3. EXECUTION
A. Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or pea gravel to stabilize an unstable foundation.
B. Base Course Placement: APWA Section 32 11 23. Maximum particle size 2-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
C. Invert cover: During construction, place invert covers over the top of pipe in manholes that currently carry sewerage. See Plan 412.
D. Concrete Deck or Reducing Riser: When depth of manhole from pipe invert to finish grade exceeds 7 feet, use an ASTM A 478 reducing riser cone.
E. Pipe Connections: Grout around all pipe openings.
F. Water Stops: Install rubber-based water-stops on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.
G. Joints: Place flexible sealant in all joints. Finish with grout.
H. Finish: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.
I. Backfill: Provide backfill against the manhole shaft. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jacking is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

341
Sheet 2 of 2

Sanitary sewer manhole

1. GENERAL
A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the manhole.
B. Manhole size:
1) Diameter is 4 feet. For sewers under 12" diameter.
2) Diameter is 5 feet. For sewers 12" and larger, or when 3 or more pipes intersect the manhole.
C. Wall thickness:
1) Precast reinforced concrete walls a 3/4" minimum.
2) Cast-in-place concrete to be 8 inches thick minimum.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.

3. EXECUTION
A. Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or a granular backfill borrow in a geotextile wrap to stabilize an unstable foundation.
B. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
C. Invert Cover: During construction, place invert covers over the top of pipe in manholes that currently carry sewerage. See Plan 412.
D. Pipe Connections: Grout around all pipe openings.
E. Pipe Seal: Install rubber-based pipe seals on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.
F. Joints: Place flexible gasket-type sealant in all pipe joints. Finish with grout.
G. Adjustment: If the required manhole adjustment is more than 1/4", remove the cone and grade rings and adjust the manhole elevation with the appropriate manhole section, the cone section, and the grade rings or plastic form to make frame and lid match finish grade.
H. Finish: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.
I. Backfill: Provide backfill against the manhole shaft. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jacking is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

411
Sheet 1 of 3

Grease trap

1. GENERAL
A. Before backfilling around concrete box, secure inspection of installation by ENGINEER.
B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
C. Concrete: Class 4000, APWA Section 03 30 04.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
E. P/C/Pipe: APWA Section 33 05 07.

3. EXECUTION
A. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Reinforcement Placement: APWA Section 03 30 10.
C. Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
D. Fill annular spaces around pipe wall penetrations with waterproof sealant.
E. Backfill: Provide backfill against the box walls. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jacking is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

441
Sheet 1 of 3

Concrete meter boxes

1. GENERAL
A. Before backfilling secure inspection of installation by ENGINEER.
B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
C. Concrete: Class 4000, APWA Section 03 30 04.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
E. P/C/Pipe: APWA Section 33 05 07.

3. EXECUTION
A. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
C. Concrete: Class 4000, APWA Section 03 30 04. Use type I cement (see note 1).
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
E. P/C/Pipe: APWA Section 33 05 07.

505
Sheet 1 of 3

3' and 4' Compound meter with 2" bypass

1. GENERAL
A. Configuration may be changed at ENGINEER'S discretion.
B. Additional requirements are specified in APWA Section 12 16.16.

2. PRODUCTS
A. Small Fittings: Brass. Do not use galvanized materials.
B. Blanking: Cast iron or concrete block.
C. Drain Gasket: Sewer rook, ASTM size no. 1 (2" to 1") or equal, APWA Section 31 05 03.

3. EXECUTION
A. Control Valve: Install valve with valve box adjacent to man.
B. Cover Frame: Install and cover over water meter.
C. Allow 4-inch clearance around meter where water line passes through concrete box wall. Seal opening with compressible seal.

523
Sheet 1 of 3

REVISIONS

NO.	DATE	BY	REASON

ENGINEER: CJ CHECKED BY: LR

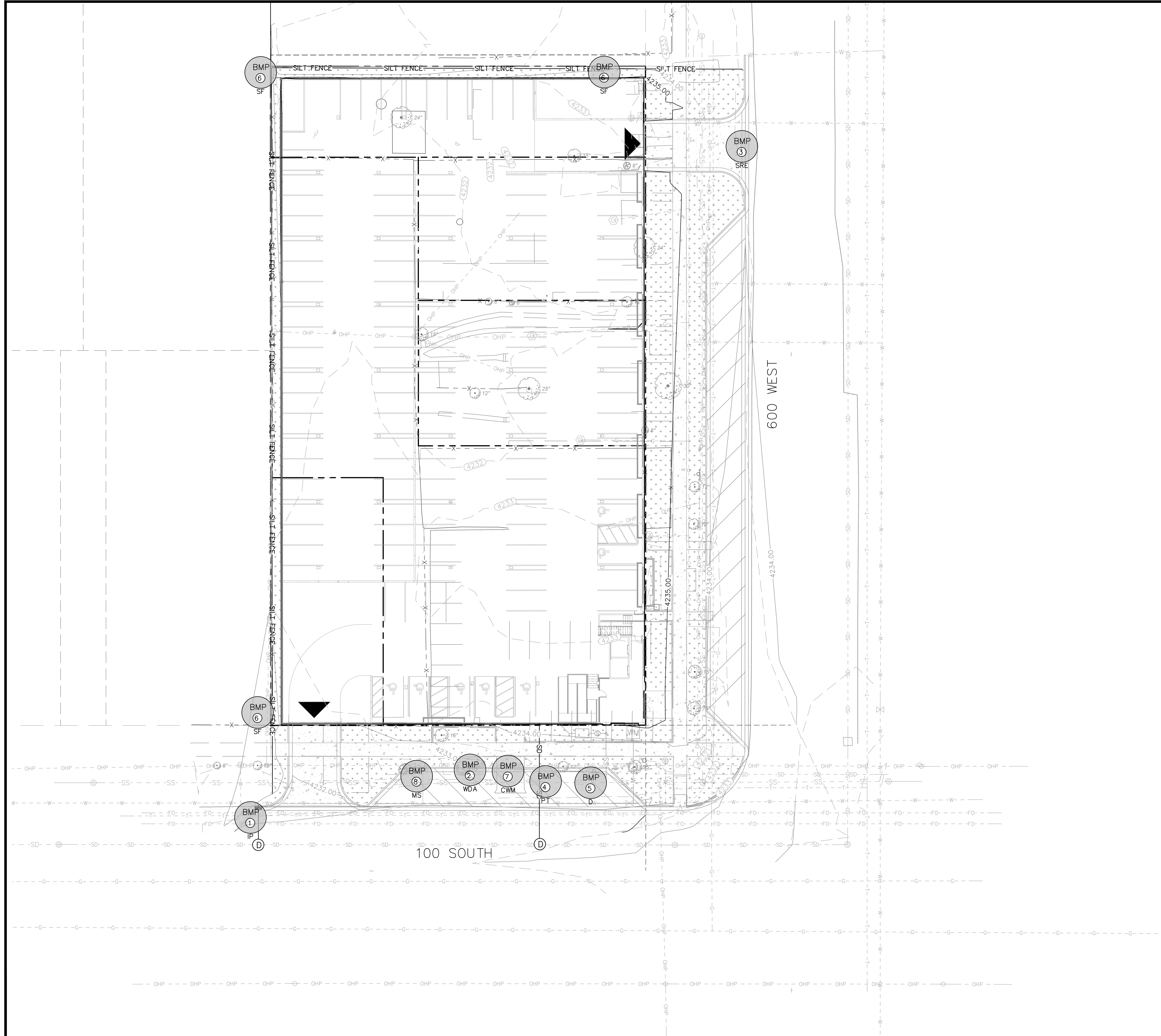
THE HUXLEY
DETAILS
74 SOUTH 600 WEST, SALT LAKE CITY, UTAH

LEGEND ENGINEERING
52 WEST 100 NORTH
HERRING CITY, UT 84032
PHONE: 435-654-4828
www.legendengineering.com

SHEET: C-4

DATE: 12/23/2020

PLANNED DEVELOPMENT



- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- X- EXISTING FENCE
- - - - PROPERTY LINE
- SS- EXISTING SEWER
- W- EXISTING WATER LINE
- 4960 FINISHED CONTOUR LINE
- 4960 EXISTING CONTOUR LINE
- SD- PROPOSED STORM DRAIN LINE
- SD- EXISTING STORM DRAIN LINE
- SILT FENCE- SILT FENCE
- CLEAN OUT BOX
- BMP BEST MANAGEMENT PRACTICE
SEE BEST MANAGEMENT PRACTICE INDEX AND SHEET C-6 FOR DETAILS
- XX

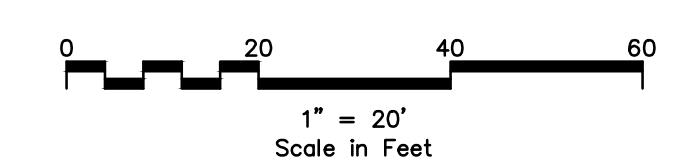
NOTES

- DURING CONSTRUCTION
1. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (ONCE A WEEK) AND AFTER EVERY STORM EVENT
 2. LAND DISTURBANCE SHALL BE KEPT TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
 3. LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
 4. STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
 5. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
 6. MAINTENANCE OF STREET: STREETS, SIDEWALK AND CURB TO BE KEPT CLEAN AND FREE FROM DEBRIS.
 7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
 8. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY

BEST MANAGEMENT PRACTICE INDEX

- | | | |
|---|-----|--------------------------------------|
| 1 | IP | INLET PROTECTION |
| 2 | WDA | EQUIPMENT AND VEHICLE WASH DOWN AREA |
| 3 | SRE | STABILIZED ROADWAY ENTRANCE |
| 4 | PT | PORTABLE TOILET |
| 5 | D | DUMPSTER LOCATION |
| 6 | SF | SILT FENCE |
| 7 | CWM | CONCRETE WASTE MANAGEMENT |
| 8 | MS | MATERIALS STORAGE |

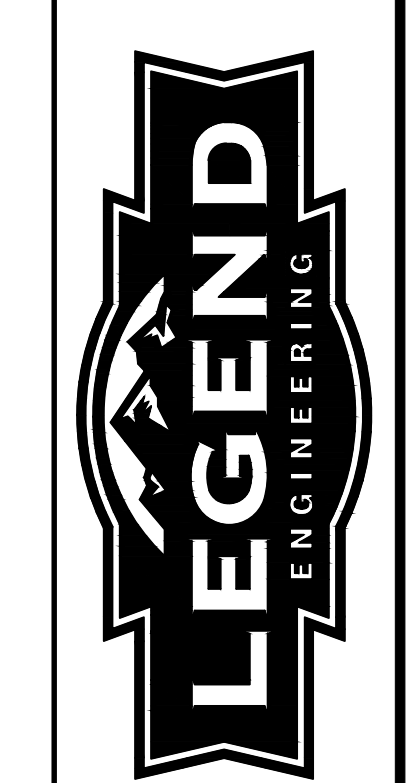
ADDITIONAL BMP's TO BE ONSITE:
 • SPILL CLEANUP
 • VEHICLE & EQUIPMENT FUELING
 SEE SHEET C-6 FOR BMP DETAILS



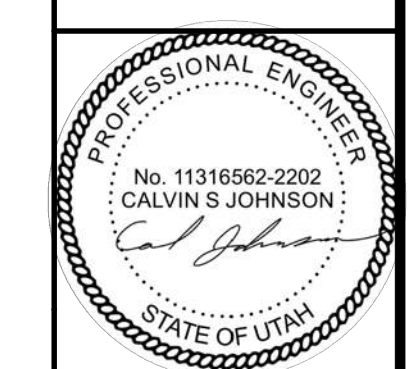
PLANNED DEVELOPMENT

NO.	REVISIONS	BY	DATE

LEGEND ENGINEERING
 52 WEST 100 NORTH
 HERR CITY, UT 84032
 PHONE: 435-654-4828
 www.legendengineering.com



THE HUXLEY
 SWPPP
 74 SOUTH 600 WEST, SALT LAKE CITY, UTAH



SHEET:
C-5
 DATE: 12/23/2020

Silt fence

- GENERAL**
 - Description. A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched.
 - Application. To intercept sediment from disturbed areas of limited extent.
 - Perimeter Control. Place barrier at down gradient limits of disturbance.
 - Sediment Barrier. Place barrier at toe of slope or soil stockpile.
 - Protection of Existing Waterways. Place barrier at top of stream bank.
 - Inlet Protection.
- PRODUCTS**
 - Fabric. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 deg F to 120 deg F.
 - Burlap. 10 ounces per square yard of fabric.
 - Posts. Either 2" x 4" diameter wood, or 1.33 pounds per linear foot steel with a minimum length of 5 feet, or steel posts with projections for fastening wire to them.
- EXECUTION**
 - Cut the fabric on site to desired width, unroll, and drape over the barrier. Secure the fabric toe with rocks or dirt and secure the fabric to the mesh with twin, staples or similar devices.
 - When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap.
 - When used to control sediments from a steep slope, place silt fences away from the toe of the slope for increased holding capacity.
 - Maintenance.
 - Inspect immediately after each rainfall and at least daily during prolonged rainfall.
 - Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, replace the fabric promptly.
 - Remove sediment deposits after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
 - Re-anchor fence as necessary to prevent shortcutting.
 - Inspect for runoff bypassing ends of barriers or undercutting barriers.

6

Inlet protection - gravel sock

- GENERAL**
 - Description. Placement of gravel sock on grade.
 - Upstream of, or in front of storm drain inlets to filter or pond water runoff.
 - At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.
- PRODUCTS** (Not used)
- EXECUTION**
 - On-grade inlet protection:
 - Provide on-grade inlet protection when completely blocking a storm drain inlet box would result in forcing water further downstream would cause flooding or other undesirable results.
 - Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 - Install filter media just upstream of the inlet box.
 - Filter media shall butt tightly against the face of the curb and angle at approximately a 45-degree angle away from the curb to trap runoff between the media and the curb.
 - Excessive flows will flow either over or around the filter media and into the inlet box.
 - Expect ponding behind the filter media.
 - Drop inlet protection:
 - Use drop inlet protection at low points in the curb and when diverting flows further downstream will not cause undesirable results.
 - Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 - Install filter media around the entire perimeter of the inlet grate.
 - Filter media shall butt tightly against the face of the curb on both sides of the inlet grate.
 - Excessive flows will either flow around the media or over the top and into the inlet box.
 - Expect ponding around the inlet box.
 - Maintenance
 - Inspect inlet protection after every large storm event and at a minimum of once monthly.
 - Remove sediment accumulated when it reaches 2-inches in depth.
 - Replace filter medium when damage has occurred or when medium is no longer functioning as intended.

10

Equipment and vehicle wash down area

- GENERAL**
 - Description. A temporary stabilized pad of gravel for general washing of equipment and construction vehicles.
 - Application.
 - At any site where regular washing of vehicles and equipment will occur.
 - May also be used as a filling point for water trucks limiting erosion caused by overflow or spillage of water.
- PRODUCT** (Not used)
- EXECUTION**
 - Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - Compact subgrade.
 - Place filter fabric under wash down area if desired (recommended for wash area that remains more than 3 months).
 - Install silt fence down gradient (see Plan 122).
 - Maintenance.
 - Requires periodic top dressing with additional stones.
 - Solely used to control sediment in wash water. Cannot be utilized for washing equipment or vehicles that may cause contamination of runoff (such as fertilizer equipment or concrete equipment).
 - Keep the wash area in a condition which will prevent tracking or flow of mud onto public rights-of-way.
 - Periodically dress the top with 2-inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent area for sediment deposit and install additional controls as necessary.
 - Expand stabilized area as required to accommodate activities.
 - Maintain silt fence as outlined in Plan 122.

16

Stabilized roadway entrance

- GENERAL**
 - Description. A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.
 - Application. At any site where vehicles and equipment enter the public right of way.
- PRODUCT** (Not used)
- EXECUTION**
 - Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - Compact subgrade.
 - Place filter fabric under stone if desired (recommended for entrance area that remains more than 3 months).
 - Maintenance.
 - Prevent tracking or flow of mud into the public right-of-way.
 - Periodic top dressing with 2-inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent area for sediment deposit and install additional controls as necessary.
 - Expand stabilized area as required to accommodate activities.

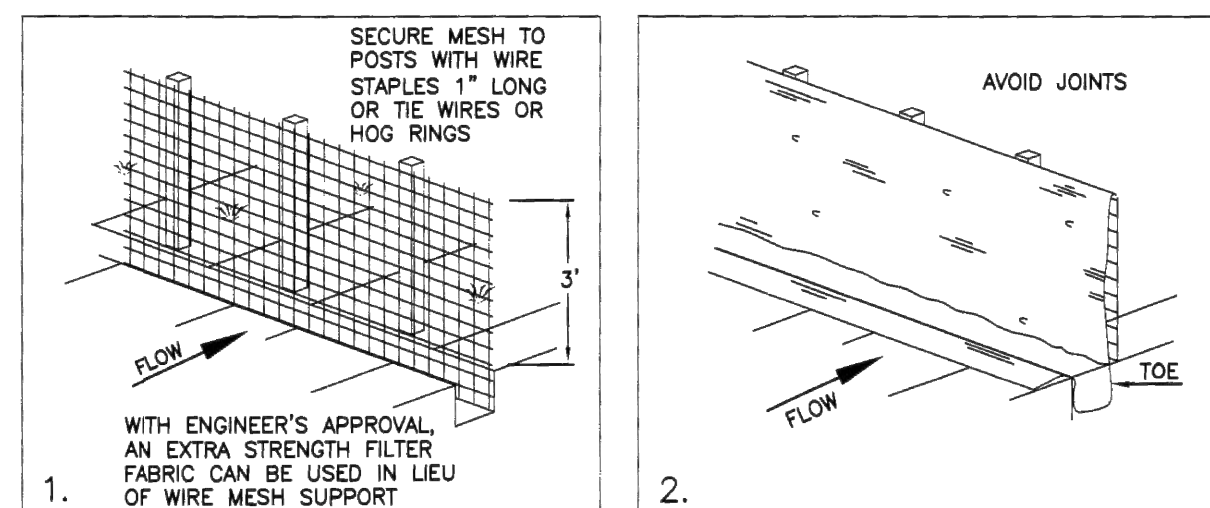
18

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.

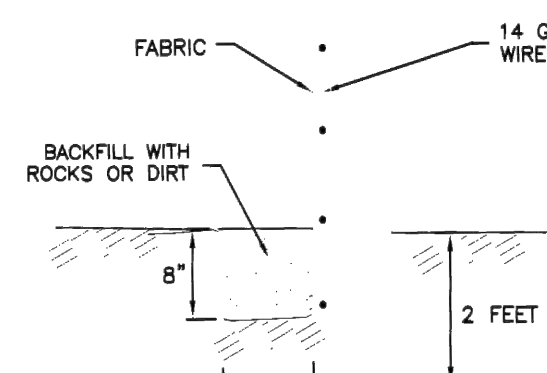
NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



INSTALLATION SEQUENCE



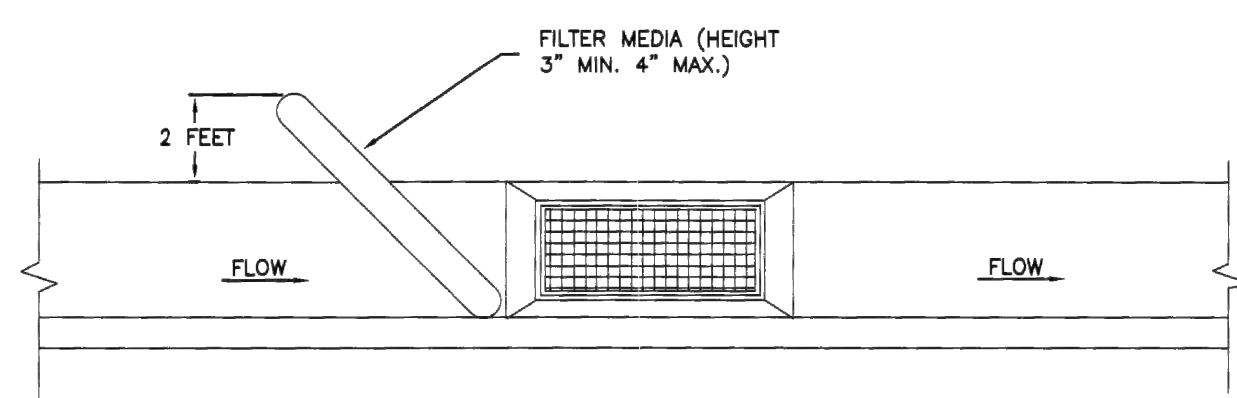
TOE DETAIL

Silt fence

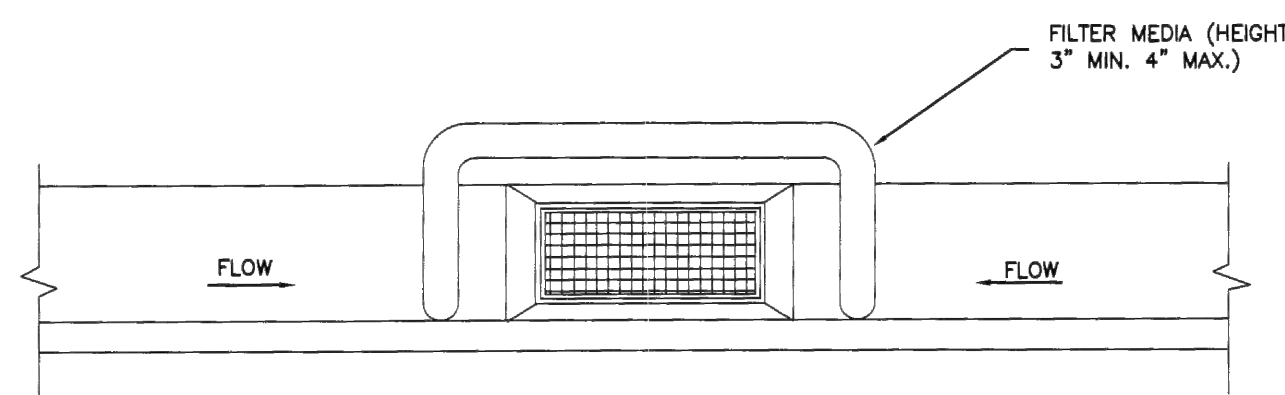
Plan 122

February 2006

7



ON-GRADE INLET PROTECTION DETAIL



SUMP INLET PROTECTION DETAIL

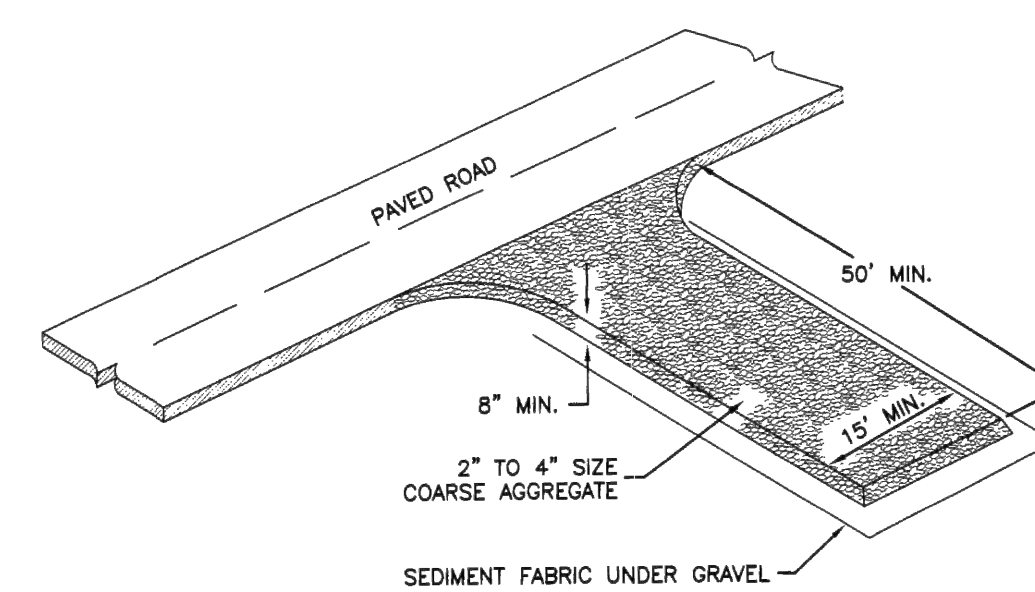
Inlet protection - gravel sock

Plan 124

September 2006

11

Sheet 1 of 3

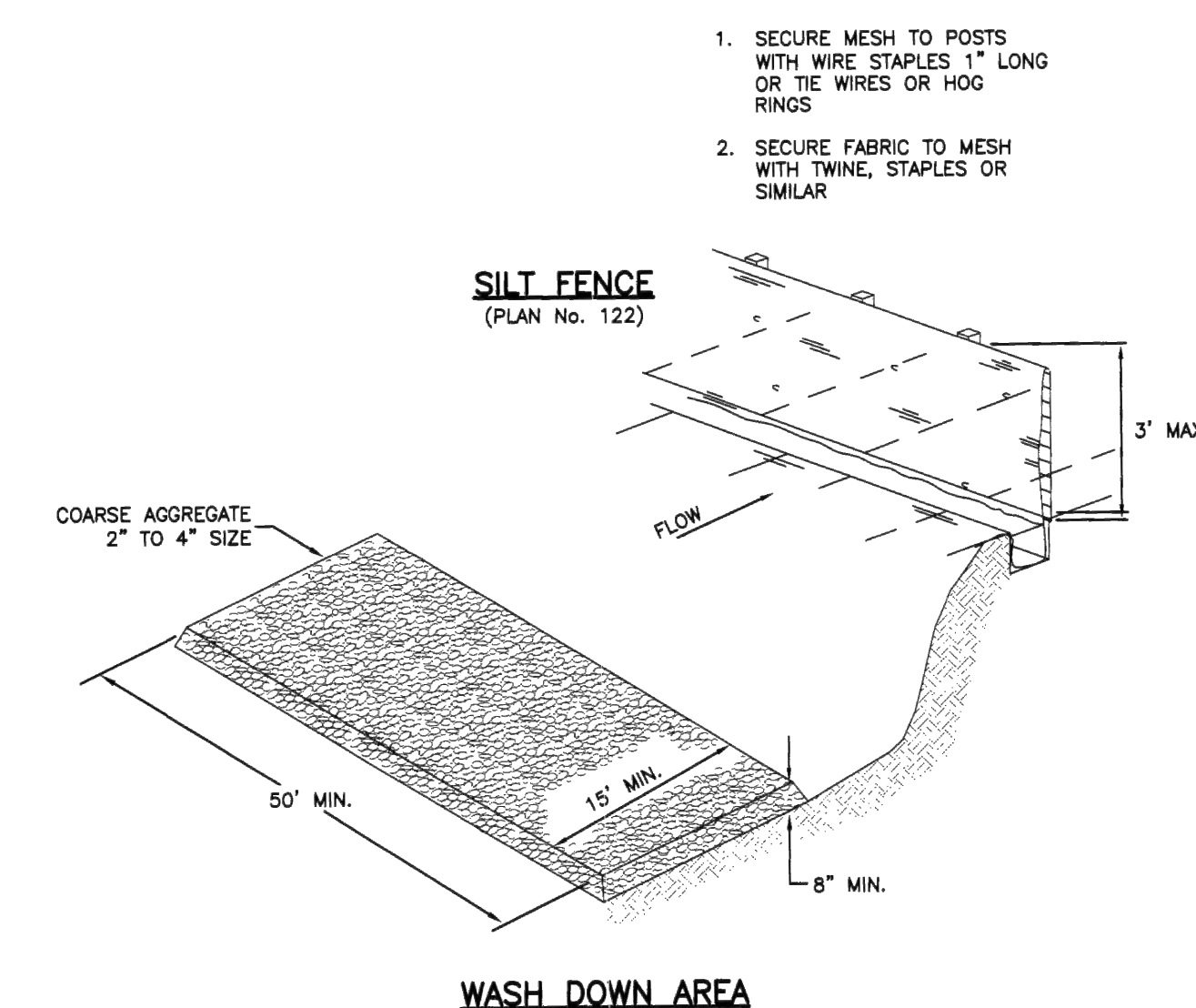


Stabilized roadway entrance

Plan 126

February 2006

19



Equipment and vehicle wash down area

Plan 125

February 2006

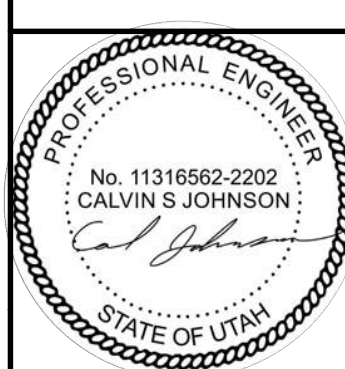
17

NO.	REVISIONS	BY	DATE

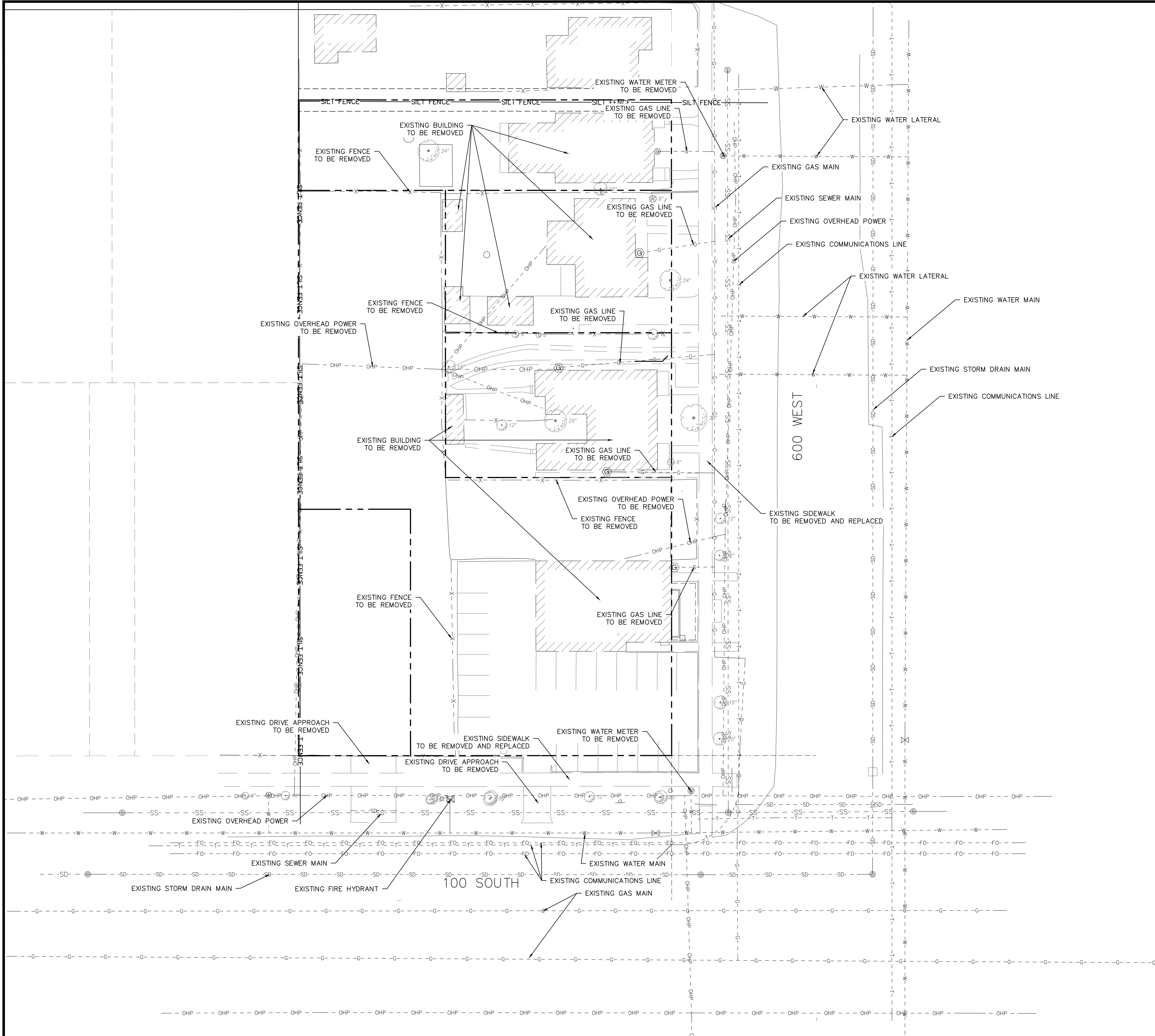
LEGEND ENGINEERING
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
www.legendengineering.com



THE HUXLEY SWPPP DETAILS
74 SOUTH 600 WEST, SALT LAKE CITY, UTAH



SHEET: **C-6**



LOT LINES (PROPERTY) ---

EXISTING CURB AND GUTTER ---

EXISTING STORM DRAIN LINE ---SD---

EXISTING GRADE CONTOUR LINES ---4960---

EXISTING GRADE SLOPE 1.25%

INVERT ELEVATION IE

TOP OF GRATE TOG

TOP OF ASPHALT TA

TOP BACK OF CURB TBC

EXISTING EX

FINISHED FLOOR ELEVATION FFE

BACK OF SIDEWALK BOW

EXISTING CONDITIONS DATA

APPROXIMATE LOT AREA: 1,014,841 SF (24.90 ACRES)

APPROXIMATE LOCATION
 LATITUDE=45.993225' LONGITUDE=-112.665269'

HISTORICAL USE
 UNKNOWN

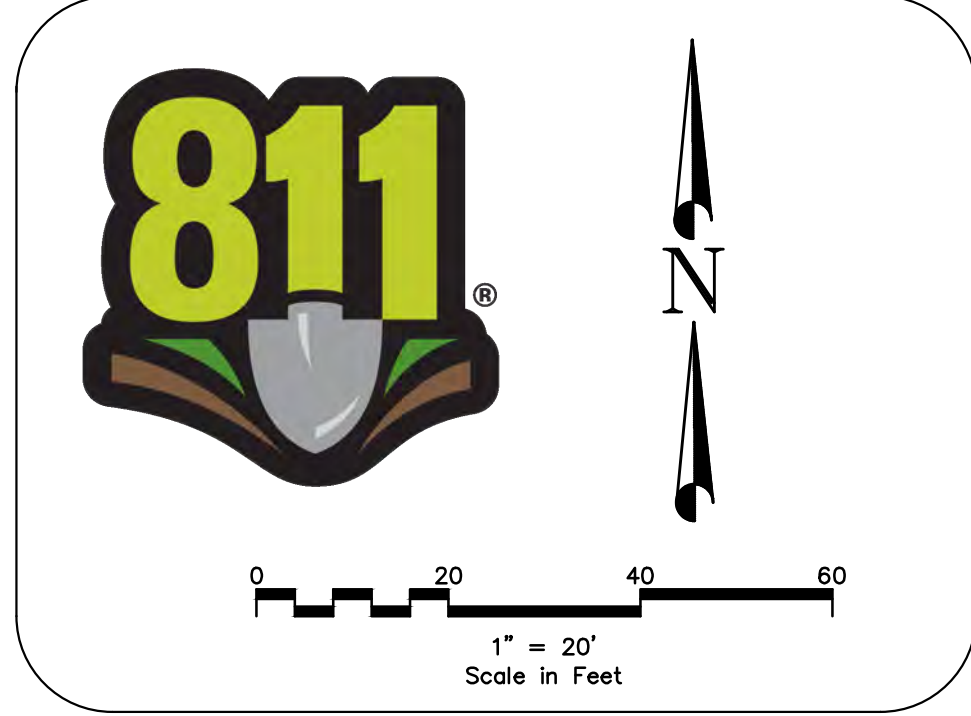
GROUND COVER
 GROUND COVER AS SHOWN IN THE GEOREFERENCED IMAGE IS AN APPROXIMATION ONLY AND IS NOT MEANT TO REPRESENT CURRENT SITE CONDITIONS

NRCS SOILS INFORMATION

MAP UNIT SYMBOL	NRCS USDA SOIL TYPE
122C	VARNEY-WORK COMPLEX, 2 TO 8 PERCENT SLOPES
114B	VARNEY LOAM, 0 TO 4 PERCENT SLOPES, MODERATELY IMPACTED
992	PITS, BORROW
15B	ANAMAC-VARNEY-RIVRA, RARELY FLOODED COMPLEX, 0 TO 6 PERCENT SLOPES

SOIL TYPES AS SHOWN IN THE POLYLINE SHAPEFILE DATASET
 REFER TO DRAINAGE REPORT APPENDIX FOR USDA NRCS WEB SOIL SURVEY INFORMATION AND TERRACON GEOTECHNICAL REPORT

- GENERAL NOTES:
1. CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
 3. ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
 4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
 6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 7. ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.



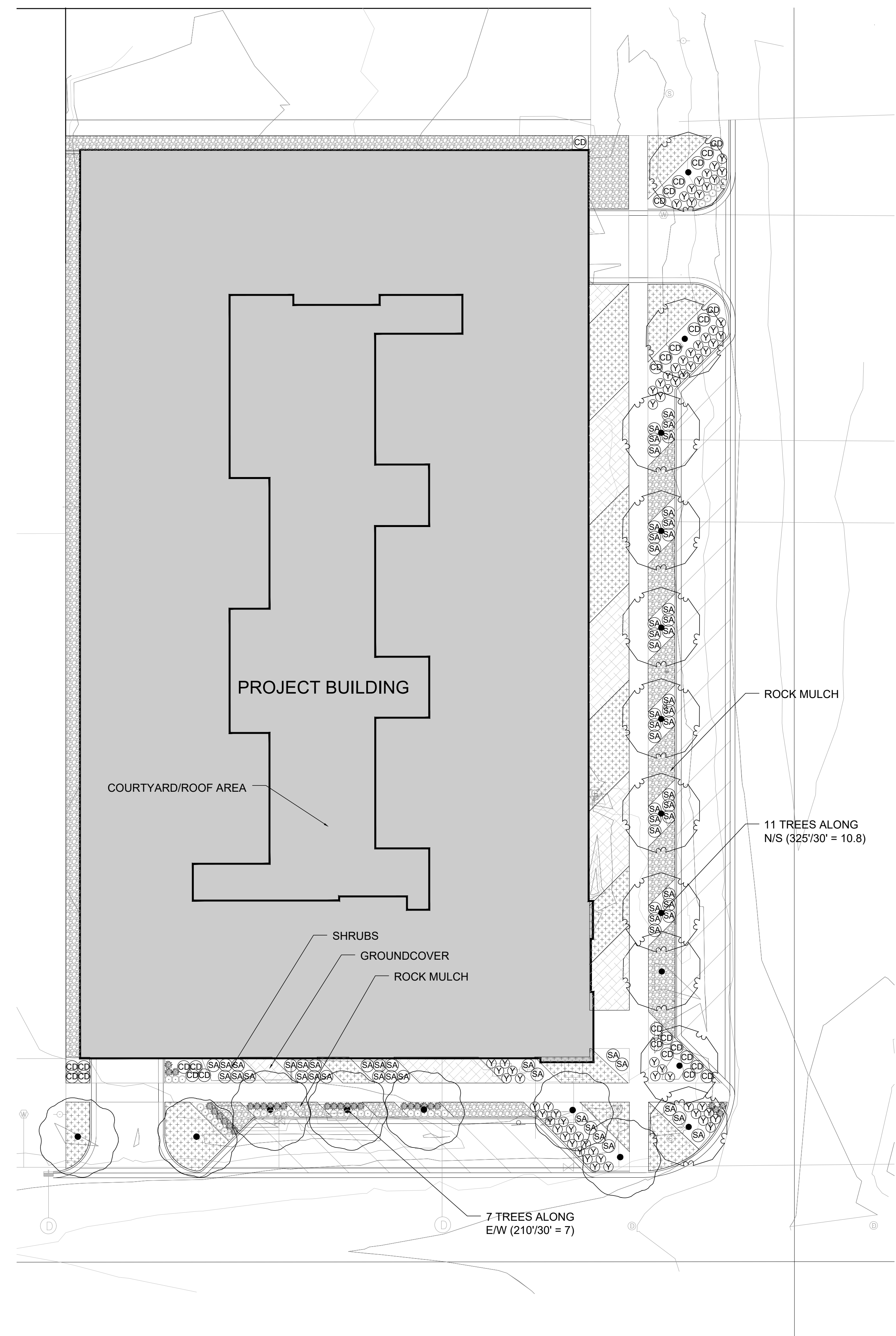
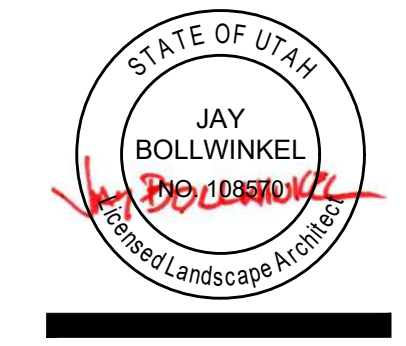
NO.	REVISIONS	BY	DATE

ENGINEER: CJ
 CHECKED BY: LR



**THE HUXLEY
 DEMOLITION PLAN
 74 SOUTH 600 WEST, SALT LAKE CITY, UTAH**

SHEET: **C-7**
 DATE: 12/23/2020



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE (HXW)	HYDROZONE	QTY	
•	AG	ACER GRISEUM	PAPERBARK MAPLE	2" CAL	25' X 25'	TD3	7	
•	CC	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL	25' X 25'	TD4	11	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE (HXW)	HYDROZONE	QTY	
CD	CD	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT BLUEBEARD	5 GAL	4' X 4'	SD2	31	
SA	SA	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER BUMALD SPIRAEA	5 GAL	4' X 4'	SD3	65	
Y	Y	YUCCA FILAMENTOSA 'COLOR GUARD'	COLOR GUARD ADAM'S NEEDLE	5 GAL	4' X 4'	SE0	67	
PERENNIAL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE (HXW)	HYDROZONE	QTY	
GS	GS	GAURA LINDHEIMERI 'SISKIYOU PINK'	SISKIYOU PINK GAURA	1 GAL	30" X 30"	P1	31	
GW	GW	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES'	WHIRLING BUTTERFLIES GAURA	1 GAL	30" X 30"	P1	33	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE (HXW)	HYDROZONE	SPACING	QTY
CP	CP	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO	FLAT	12" X 18"	GV3	18" o.c.	1,324
DC	DC	DELOSPERMA COOPERI	PURPLE ICE PLANT	FLAT	6" X 48"	P1	18" o.c.	836

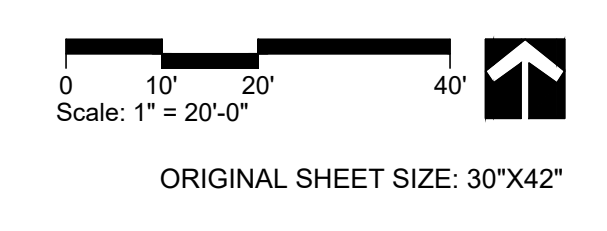
LANDSCAPE PLANTING NOTES

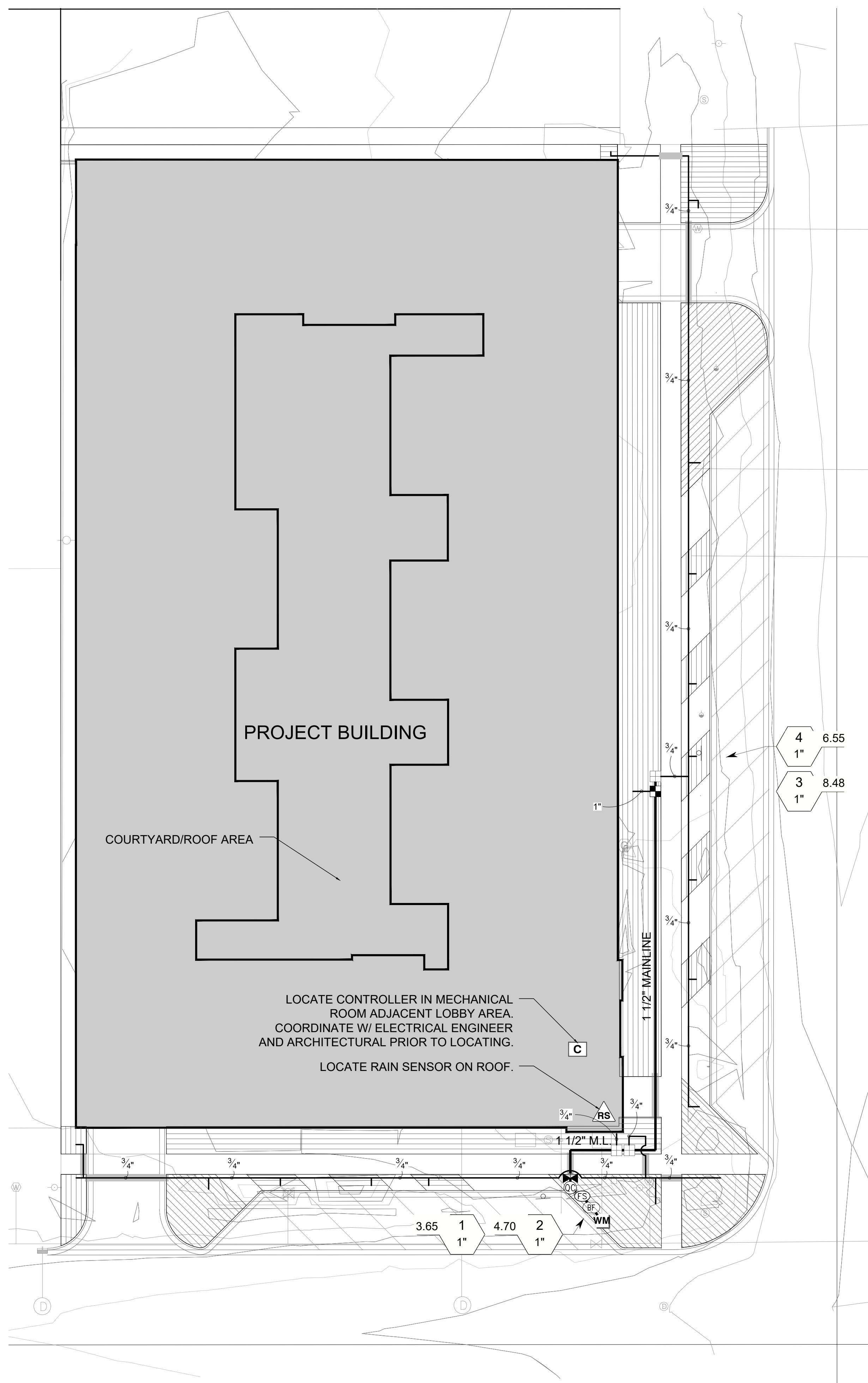
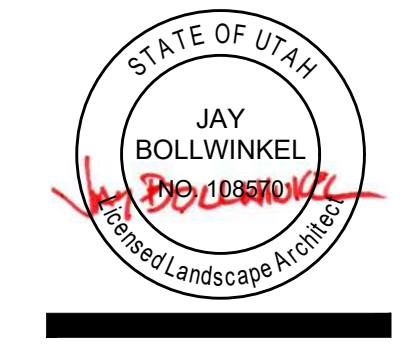
- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS. IF ANY PART OF THE PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITION, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- EXACT LOCATIONS OF PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATIONS IN FIELD.
- VERIFY PLANT COUNTS: QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FOUND.
- PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE AS DESIGNATED ON THE DRAWINGS.
- ALIGN AND EQUALLY SPACE, IN ALL DIRECTIONS, ALL PLANT MATERIAL AS DESIGNATED PER THE DRAWINGS.
- LANDSCAPE ARCHITECT WILL REVIEW PLANT MATERIALS BY PHOTOGRAPHS FURNISHED BY CONTRACTOR PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIAL.
- MULCH IN PLANT BEDS: MULCH & WEED BARRIER - SHREDDED BARK MULCH PLACED AS TOP DRESSING TO A 4" DEPTH. INSTALL 20 YR. WEED BARRIER PRIOR TO PLACING BARK MULCH. SUBMIT SAMPLES FOR APPROVAL. MULCH AND WEED BARRIER TO BE PLACED IN ALL PLANTED BEDS.
- PLANT SELECTION: 10/10 (100%) OF THE PLANTS SELECTED ARE FROM THE SALT LAKE CITY PLANT LIST & HYDROZONE SCHEDULE 2013 PREPARED BY SALT LAKE CITY PUBLIC UTILITIES.
- CRUSHED ROCK 1" MINUS: 3" DEPTH ROCK MULCH PROVIDE THE FOLLOWING SAMPLES FOR REVIEW AND APPROVAL BY THE OWNER. (TOTAL AREA: 3,589 SF) PROVIDE SAMPLES FOR REVIEW AND APPROVAL. PROVIDE SAMPLES FOR APACHE BROWN AND APACHE GOLD. SOURCE: STAKER PARSONS LANDSCAPE PRODUCTS 801-409-9500 (OR EQUAL)

The Huxley Apartments
600 West 100 South
Salt Lake City, Utah

Drawing Date: 1-11-2021
Scale: 1" = 20'
Drawn: BUR Checked: JAB
Project #: 21-101
Revisions:
This document is the property of MGB+A. The contents herein shall not be reproduced in whole or part without express written authorization of MGB+A. See license agreement.

Sheet Name:
PLANTING PLAN
Sheet Number:
LP101





IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
■	NETAFIM LVCZS8010075-HF PRE-ASSEMBLED CONTROL ZONE KIT, WITH 1" SERIES 80 CONTROL VALVE, 3/4" DISC FILTER, AND HIGH FLOW PRESSURE REGULATOR 4.5GPM TO 17.6GPM.
□	NETAFIM LVCZS8010075-LF PRE-ASSEMBLED CONTROL ZONE KIT, WITH 1" SERIES 80 CONTROL VALVE, 3/4" DISC FILTER, AND LOW FLOW PRESSURE REGULATOR 0.25GPM TO 4.4GPM.
▨	AREA TO RECEIVE DRIPLINE NETAFIM TLDV-04-18 TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE. 0.4 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊙	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.
⊗	APOLLO VALVES 77C10701 BALL VALVE, INLET SIZE 1-1/2", BRONZE B584 BODY, BLOW-OUT PROOF STEM DESIGN, MULTI-FILL PTFE SEATS & SEALS.
⊕	ZURN 375 1-1/2" REDUCED PRESSURE PRINCIPLE ASSEMBLY, SIZES 1-1/2"
C	RAIN BIRD ESP12LXMEF-LXMM 12 STATION COMMERCIAL CONTROLLER, POWDER-COATED METAL CABINET, FLOW SENSING. RAIN BIRD IQ-NCC-WF: IQ NCC PHONE CARTRIDGE. RAIN BIRD LMRKIT: LANDSCAPE IRRIGATION AND MAINTENANCE REMOTE. RAIN BIRD LMR-QC503: QUICK CONNECT CABLE TO ATTACH THE RX TO THE ESP-MODULAR. RAIN BIRD RSD-BEX: RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.
RS	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.
FS	NETAFIM PHOTO DIODE REGISTER 1-1/2" 1-1/2" MASTER VALVE/FLOW SENSOR WITH WATER METER AND HYDRAULIC VALVE IN A SINGLE UNIT. CAST IRON WITH BAKED POWDER-COATED FINISH, MINIMUM WORKING PRESSURE 14 PSI. MALE PIPE THREAD CONNECTION, PHOTO DIODE REGISTER, HIGH FREQUENCY.
WM	WATER METER 1-1/2" POINT OF CONNECTION: 1 1/2" WATER METER, 1 1/2" MAINLINE CONNECTION.
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40
---	IRRIGATION MAINLINE: PVC SCHEDULE 40
---	PIPE SLEEVE: PVC SCHEDULE 40 SIZE 2 TIMES GREATER THAN PIPE BEING INSTALLED. PVC SCHEDULE 80 UNDER ROADWAYS. AN EXTRA SLEEVE SHALL BE PROVIDED FOR ALL LATERALS AND MAINLINE UNDER ROADWAYS AND FOR ALL MAINLINE.
⊕	Valve Cutout: Valve Number Valve Flow Valve Size

IRRIGATION GENERAL NOTES

- THIS DRAWING IS DIAGRAMMATIC ONLY. ALL IRRIGATION COMPONENTS ARE TO BE INSTALLED IN LANDSCAPE AREAS. ITEMS SHOWN ON WALKWAYS AND BUILDINGS ARE FOR GRAPHIC CLARITY ONLY. CONTRACTOR TO VERIFY STATIC PRESSURE OF 90 PSI PRIOR TO STARTING WORK. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT. LATERAL LINES MAY NEED TO BE ADJUSTED FROM PLAN TO PROTECT EXISTING UTILITIES, EXISTING TREE ROOTS, ETC. THE IRRIGATION SYSTEM CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION LAYOUT OF THE SYSTEM IN ACCORDANCE WITH THE DRAWINGS. LAYOUT MAY BE MODIFIED IF NECESSARY TO OBTAIN COVERAGE AS NEEDED TO SUIT THE SITE. THE SYSTEM SHALL BE TESTED FOR COMPLETE COVERAGE AND ALL ADJUSTMENTS MADE PRIOR TO ACCEPTANCE BY THE OWNER.
- CONTRACTOR TO CONTACT BLUE STAKES AND VERIFY ALL EXISTING UTILITIES AND UNDERGROUND STRUCTURES BEFORE CONSTRUCTION BEGINS. CONTRACTOR TO PROTECT AND PRESERVE ALL EXISTING UTILITIES LOCATED ON SITE WHICH ARE NOT SCHEDULED FOR REMOVAL ACCORDING TO DEMOLITION PLAN. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AND/OR REPLACED TO OWNER'S STANDARDS, SPECIFICATIONS AND RECOMMENDATIONS. ANY EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION SHALL BE LABELED AS PART OF THE "AS-BUILT" DRAWING TO BE TURNED IN TO THE LANDSCAPE ARCHITECT ONCE PROJECT IS COMPLETED.
- CONTRACTOR TO HAVE ON-SITE PRE-CONSTRUCTION MEETING WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR IS TO READ AND REFER TO THE ATTACHED DETAILS AND TECHNICAL SPECIFICATIONS FOR FURTHER CLARIFICATION.
- POINT OF CONNECTION: CONTRACTOR TO INCLUDE BACKFLOW PREVENTER AND STOP AND WASTE VALVE AND ACCOMPANYING COMPONENTS AT NEAR POINT OF CONNECTION FOR SYSTEM. LOCATE STOP AND WASTE VALVE NEAR BACKFLOW IN FIELD. STOP AND WASTE SYSTEM NOT SHOWN ON PLANS.
- AS-BUILT DRAWINGS: CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO THE LANDSCAPE ARCHITECT ONCE CONSTRUCTION IS COMPLETE FOR THE IRRIGATION SPRINKLER SYSTEM SHOWING EXACT MEASURED AND DIMENSIONED LOCATIONS OF ALL VALVES, IRRIGATION HEADS, AND OTHER BELOW GRADE IRRIGATION EQUIPMENT. THE DIMENSIONS TO PERMANENT FEATURES SUCH AS EXISTING STRUCTURES.
- IRRIGATION CONTROLLER: CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND LABOR NECESSARY TO MAKE CONTROLLER OPERATIONAL. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH ALL LOCAL CODES, STANDARDS AND REGULATIONS.
- MAINLINE & LATERAL LINES: PLACE MAINLINE MIN. OF 3' DISTANCE FROM ANY HARD EDGES (I.E. WALLS, SIDEWALKS, CONCRETE ETC.) LATERAL LINES: PLACE LATERAL LINES MIN. OF 12" DISTANCE FROM ANY HARD EDGES. ADJUST LINE LOCATIONS AS NEEDED TO AVOID TREES. LINE LOCATIONS SHOWN DIAGRAMMATICALLY IN PLANS.
- VALVE BOXES: PLACE VALVE BOXES IN SHRUB BEDS WHERE FEASIBLE. IRRIGATION BOXES TO BE PLACED A MINIMUM OF 3' FROM WALKWAYS, WHERE APPLICABLE.
- SLEEVES: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES FOR IRRIGATION LATERAL LINE AND PRESSURE SUPPLY LINE UNDER HARDSCAPE PRIOR TO THE CONSTRUCTION OF HARDSCAPE PAVING. IF THE CONTRACTOR FAILS TO INSTALL ALL NECESSARY SLEEVES FOR SYSTEM OPERATION PRIOR TO THE HARDSCAPE CONSTRUCTION, THEN THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES OF TRENCHING AND PATCHING OF CONCRETE AND/OR PAVING AS DIRECTED BY THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER. COORDINATE ALL SLEEVE AND CONDUIT FOR LATERALS AND WIRING WITH GENERAL CONTRACTOR PRIOR TO HARDSCAPE CONSTRUCTION.
- ALL SLEEVING SHALL BE PERFORMED PER SPECIFICATION. WHERE NECESSARY UNDER EXISTING PAVEMENT CONTRACTOR IS TO BORE/MISSILE UNDER EXISTING PAVEMENT FOR PLACEMENT AND INSTALLATION OF NEW IRRIGATION PIPE AND CONTROL WIRE SLEEVES(S).
- INCLUDE ADDITIONAL OPEN SLEEVE THE SAME DIAMETER AS SLEEVE BEING FILLED IN THE SAME LOCATION.
- VALVE NOTES: ADD VALVE I.D. TAGS TO WIRING AT 3 WAY JUNCTIONS. TAGS SHALL INDICATE DIRECTION WIRING LEADS AND VALVES SERVED (E.G. EAST TO V46-V50 ETC.)
- ALL SLEEVING SHALL BE PERFORMED PER SPECIFICATION. COORDINATE WITH OTHER TRADES, ROADS, SIDEWALKS AND BUILDINGS FOR SCHEDULING OF INSTALLATION. SIZE SLEEVES PER SPECIFICATIONS.
- ALL IRRIGATION CONTROL WIRE SPLICES ARE TO BE LOCATED IN VALVE BOXES AND SHOWN ON AS BUILTS. ALL WIRES TO BE INSTALLED UNDER HARDSCAPE ARE TO BE INSTALLED IN GRAY PVC ELECTRICAL CONDUIT. SLEEVE SHALL RUN ALONG SIDE IRRIGATION MAINLINE. INSTALL SLEEVE SIZE AS SHOWN BELOW.
1 - 25 CONTROL WIRES (1) 2" SCH. 40 PVC PIPE
26 - 50 CONTROL WIRES (2) 2" SCH. 40 PVC PIPE

PRECIPITATION RATE (INCHES/HOUR)			MONTHLY WATER ALLOWANCE	
IRRG. ZONE	ZONE TYPE	PRECIP. RATE	MONTH	GALLONS
1 THRU 4	DRIPI	0.29	January	0.00
			February	0.00
			March	4.423
			April	7.187
			May	9.398
			June	11.610
			July	12.716
			August	11.057
			September	9.951
			October	6.081
			November	0.00
			December	0.00

WATER USE ZONES

1. PLANTS ARE GROUPED IN SIMILAR WATER USE ZONES. SPECIFIC IRRIGATION IS PROVIDED ON THE IRRIGATION PLAN AS FOLLOWS:

VALVE #	VALVE TYPE	PLANT HYDROZONE	WATER INCHES/MO
1	DRIPI- TREES, SHRUBS, PERR	T203, S203, P1, GV3	2-37 month
2	DRIPI- TREES, SHRUBS, PERR	T203, S203, P1, GV3	2-37 month
3	DRIPI- TREES, SHRUBS, PERR	T203, S203, P1, GV3	2-37 month
4	DRIPI- TREES, SHRUBS, PERR	T203, S203, P1, GV3	2-37 month

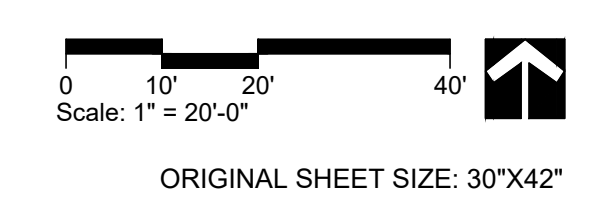
IRRIGATION VALVE & PLANT HYDROZONE TABLE

NOTE: PLANT "HYDROZONES" HAVE BEEN ADDED PER SLC PLANNING DEPARTMENT REQUESTS. HYDROZONES BASED OFF THE SALT LAKE CITY PLANT LIST AND HYDROZONE SCHEDULE 2013.

Drawing Date: 1-11-2021
Scale: 1" = 20'
Drawn: JBR Checked: JAB
Project #: 21-101
Revisions:

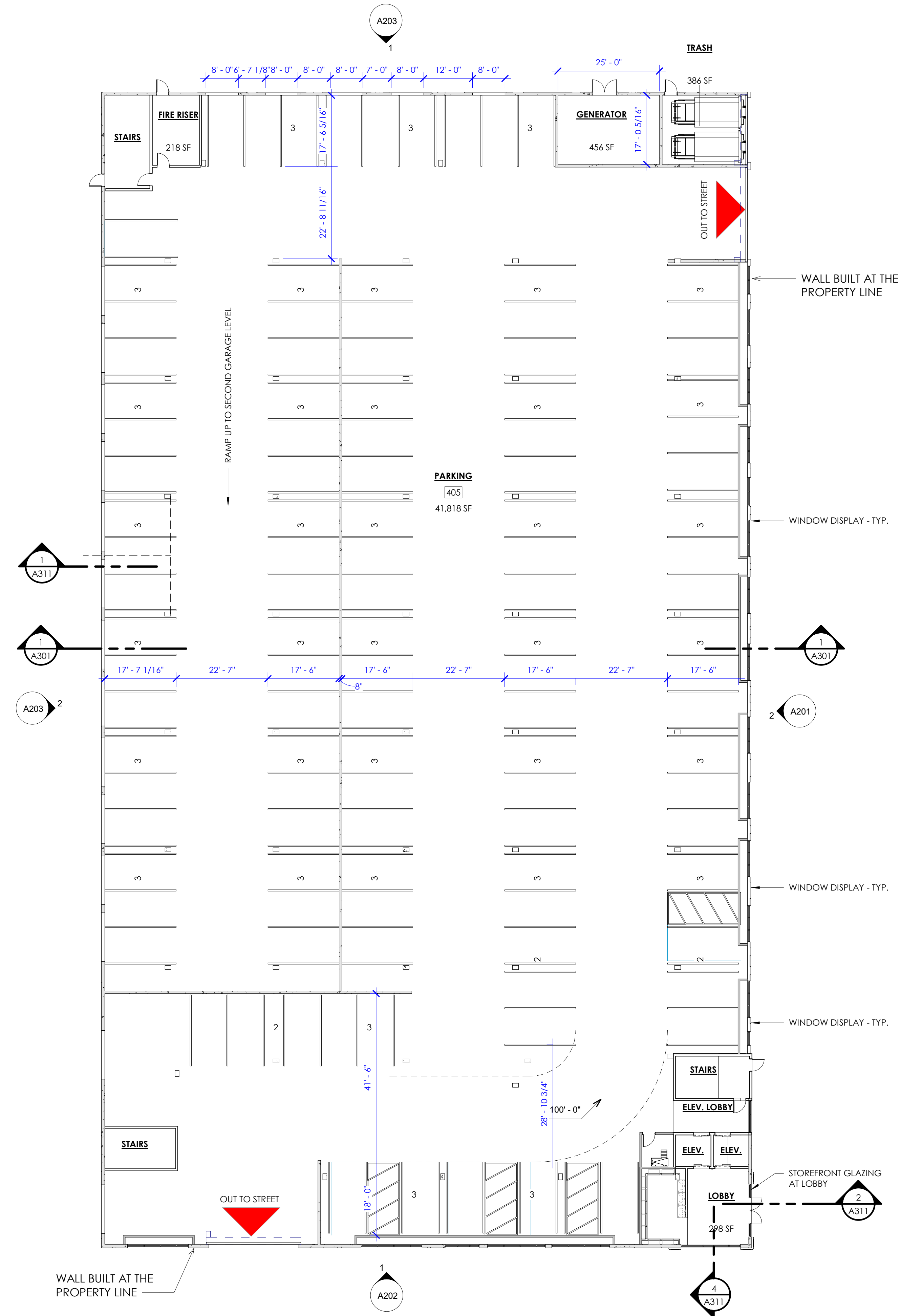
This document is the property of MGB+A. THE ORIGINAL (PRINT) AND ALL REVISIONS MUST BE RETURNED TO MGB+A. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF MGB+A.

Sheet Name:
IRRIGATION PLAN





2
A101
MAIN LEVEL EXTERIOR LIGHTING PLAN
1/32" = 1'-0"



1
A101
MAIN LEVEL FLOOR PLAN
1/16" = 1'-0"

PROJECT GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CALK ALL PENETRATIONS.
- PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHINGS SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE "G" SHEETS. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.**
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

PROJECT DATA

G-MU ZONE

SITE BOUNDARY 47,900 SF (1.10 ACRES)

2 LEVELS CONCRETE STRUCTURED PARKING (TYPE I CONSTRUCTION)

5 LEVELS WOOD-FRAMED HOUSING (TYPE III CONSTRUCTION)

CLUBHOUSE / FITNESS 2,093 SF

BUILDING FOOTPRINT 45,510 SF (+/-)

LEASING OFFICE 2,234 SF

BUILDING HEIGHT ALLOWED 75'

BUILDING HEIGHT PROPOSED 75'-0"

FRONT SETBACK 0'

(MIN. 25% OF FACADE SHALL BE BUILT TO WITHIN 5' OF STREET RIGHT-OF-WAY)

SIDE YARD SETBACK 0'

REAR YARD SETBACK 0'

UNIT MATRIX

1-BR A	15 UNITS	34%
1-BR B	29 UNITS	
1-BR C	20 UNITS	
1-BR D	12 UNITS	
1-BR E	1 UNIT	
1-BR LUX A	5 UNITS	33%
1-BR LUX B	26 UNITS	
1-BR LUX C	14 UNITS	
1-BR LUX D	30 UNITS	
2-BR A	5 UNITS	9%
2-BR B	16 UNITS	
STUDIO A	15 UNITS	24%
STUDIO B	27 UNITS	
STUDIO C	11 UNITS	
TOTAL	226 UNITS	

DENSITY: 205 UNITS / ACRE

AREA CALCULATIONS AND UNIT COUNTS ARE APPROXIMATE AND SUBJECT TO CHANGE

PARKING REQUIRED

0.5 STALLS PER UNIT (SLC STANDARDS)

0.8 STALLS PER UNIT (PROPOSED BY OWNERSHIP)

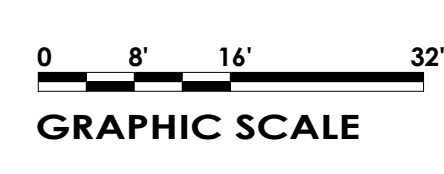
PARKING PROVIDED

MAIN LEVEL	78 (INCL. 6 ADA STALLS)
RAMP	36
SECOND LEVEL	50
TOTAL	164 STALLS (.73 STALLS/UNIT)

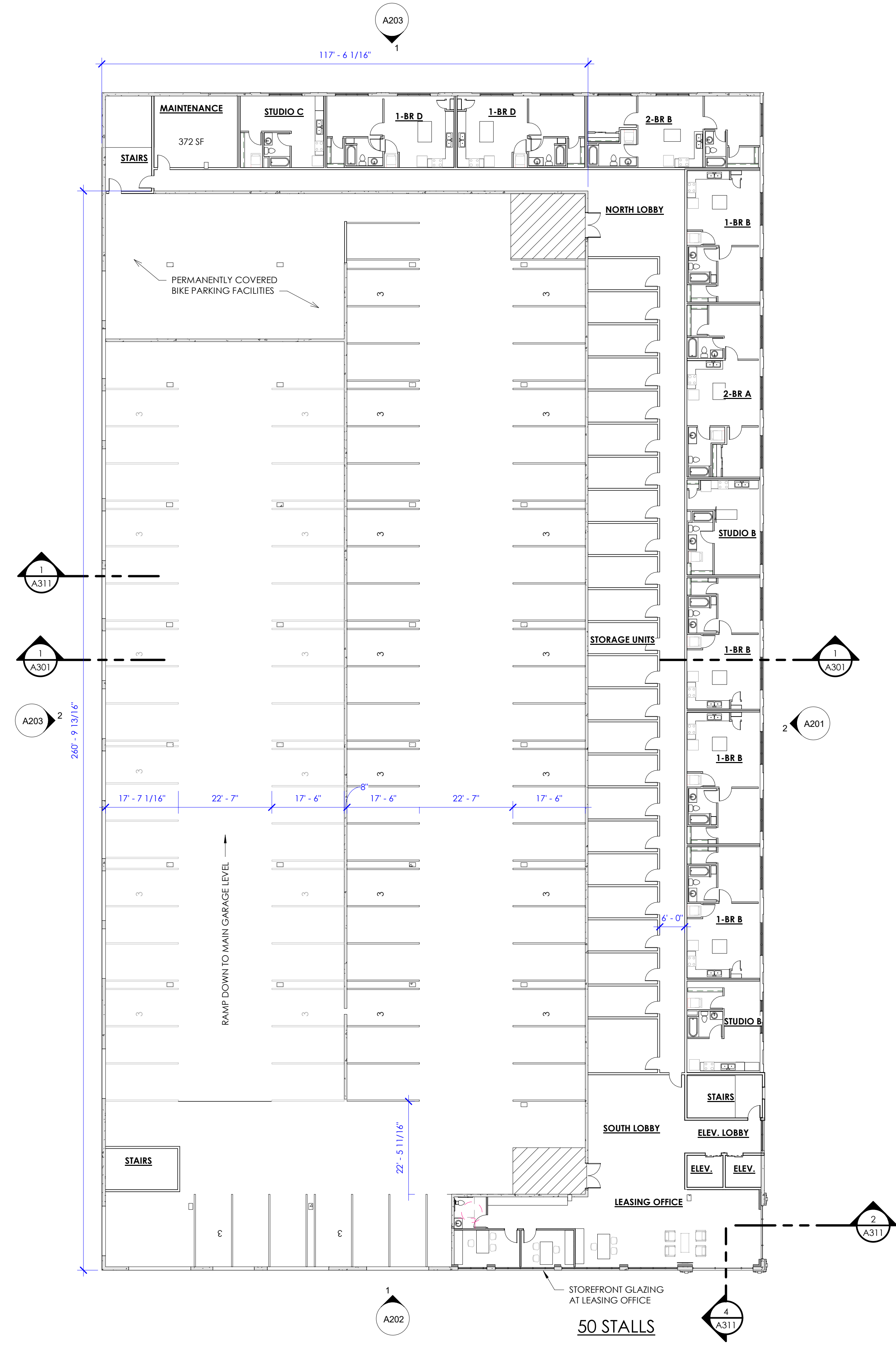
APPROX. 16 STREET STALLS AVAILABLE (.80 STALLS/UNIT)

PARKING STALL COUNTS, UNIT COUNTS AND SIZES ARE SUBJECT TO CHANGE AFTER ACCOUNTING FOR:

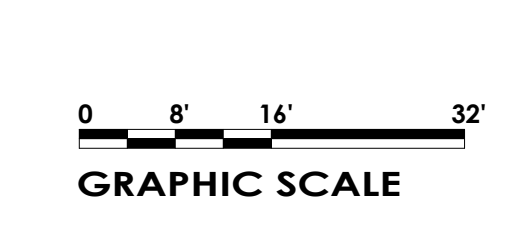
- JURISDICTION REQUIREMENTS
- SECONDARY BUILDING SPACES (MECH. ELECT. TELECOMM. JANITOR, ETC.)
- UTILITY REQUIREMENTS (GAS & ELECT METERS, GENERATOR ROOM, ETC.)



MARK	Revision Schedule	DESCRIPTION	Revision Date



1 SECOND LEVEL FLOOR PLAN
 A102 1/16" = 1'-0"



PROJECT GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
- PROVIDE CAULKING AND MIN. 7" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE 'G' SHEETS. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.** CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE. CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

PROJECT DATA

G-MU ZONE
 SITE BOUNDARY 47,900 SF (1.10 ACRES)
 2 LEVELS CONCRETE STRUCTURED PARKING (TYPE I CONSTRUCTION)
 5 LEVELS WOOD-FRAMED HOUSING (TYPE III CONSTRUCTION)
 CLUBHOUSE / FITNESS 2,093 SF
 BUILDING FOOTPRINT 45,510 SF (+/-)
 LEASING OFFICE 2,234 SF
 BUILDING HEIGHT ALLOWED 75'
 BUILDING HEIGHT PROPOSED 75'-0"
 FRONT SETBACK 0'
 SIDE YARD SETBACK (MIN. 25% OF FACADE SHALL BE BUILT TO WITHIN 5' OF STREET RIGHT-OF-WAY) 0'
 REAR YARD SETBACK 0'

UNIT MATRIX

1-BR A	15 UNITS	} 34%
1-BR B	29 UNITS	
1-BR C	20 UNITS	
1-BR D	12 UNITS	
1-BR E	1 UNIT	
1-BR LUX A	5 UNITS	} 33%
1-BR LUX B	26 UNITS	
1-BR LUX C	14 UNITS	
1-BR LUX D	30 UNITS	
2-BR A	5 UNITS	} 9%
2-BR B	16 UNITS	
STUDIO A	15 UNITS	} 24%
STUDIO B	27 UNITS	
STUDIO C	11 UNITS	
TOTAL	226 UNITS	

DENSITY: 205 UNITS / ACRE
 AREA CALCULATIONS AND UNIT COUNTS ARE APPROXIMATE AND SUBJECT TO CHANGE

PARKING REQUIRED

0.5 STALLS PER UNIT (SLC STANDARDS)
 0.8 STALLS PER UNIT (PROPOSED BY OWNERSHIP)

PARKING PROVIDED

MAIN LEVEL	78 (INCL. 6 ADA STALLS)
RAMP	36
SECOND LEVEL	50
TOTAL	164 STALLS (.73 STALLS/UNIT)

APPROX. 16 STREET STALLS AVAILABLE (.80 STALLS/UNIT)
 PARKING STALL COUNTS, UNIT COUNTS AND SIZES ARE SUBJECT TO CHANGE AFTER ACCOUNTING FOR:
 • JURISDICTION REQUIREMENTS
 • SECONDARY BUILDING SPACES (MECH, ELECT, TELECOMM, JANITOR, ETC.)
 • UTILITY REQUIREMENTS (GAS & ELECT METERS, GENERATOR ROOM, ETC.)



4/9/2021 3:49:04 PM

THE HUXLEY
 MILLER GENERAL CONTRACTORS
 74 S. 600 W. SALT LAKE CITY, UT

MARK	REVISION	SCHEDULE	DATE

AE2020.270

SECOND LEVEL FLOOR PLAN

DATE: 4/9/2021
 3:49:04 PM
 SHEET #:

A102

4/9/2021 3:49:04 PM
 PLANNED DEVELOPMENT APPLICATION SUBMITTAL BY APR 2021
 COPYRIGHT © AEURBIA, LLC.

MARK	Revision Schedule	Revision Date
	DESCRIPTION	

PROJECT GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENT OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK, ALL PENETRATIONS PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE 'G' SHEETS. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.**
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE. CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

PROJECT DATA

G-MU ZONE
 SITE BOUNDARY 47,900 SF (1.10 ACRES)
 2 LEVELS CONCRETE STRUCTURED PARKING (TYPE I CONSTRUCTION)
 5 LEVELS WOOD-FRAMED HOUSING (TYPE III CONSTRUCTION)
 CLUBHOUSE / FITNESS 2,093 SF
 BUILDING FOOTPRINT 45,510 SF (+/-)
 LEASING OFFICE 2,234 SF
 BUILDING HEIGHT ALLOWED 75'
 BUILDING HEIGHT PROPOSED 75'-0"
 FRONT SETBACK 0'
 SIDE YARD SETBACK (MIN. 25% OF FACADE SHALL BE BUILT TO WITHIN 5' OF STREET RIGHT-OF-WAY) 0'
 REAR YARD SETBACK 0'

UNIT MATRIX

1-BR A	15 UNITS	34%
1-BR B	29 UNITS	
1-BR C	20 UNITS	
1-BR D	12 UNITS	
1-BR E	1 UNIT	33%
1-BR LUX A	5 UNITS	
1-BR LUX B	26 UNITS	
1-BR LUX C	14 UNITS	
2-BR A	5 UNITS	9%
2-BR B	16 UNITS	
STUDIO A	15 UNITS	24%
STUDIO B	27 UNITS	
STUDIO C	11 UNITS	
TOTAL	226 UNITS	

DENSITY: 205 UNITS / ACRE

AREA CALCULATIONS AND UNIT COUNTS ARE APPROXIMATE AND SUBJECT TO CHANGE

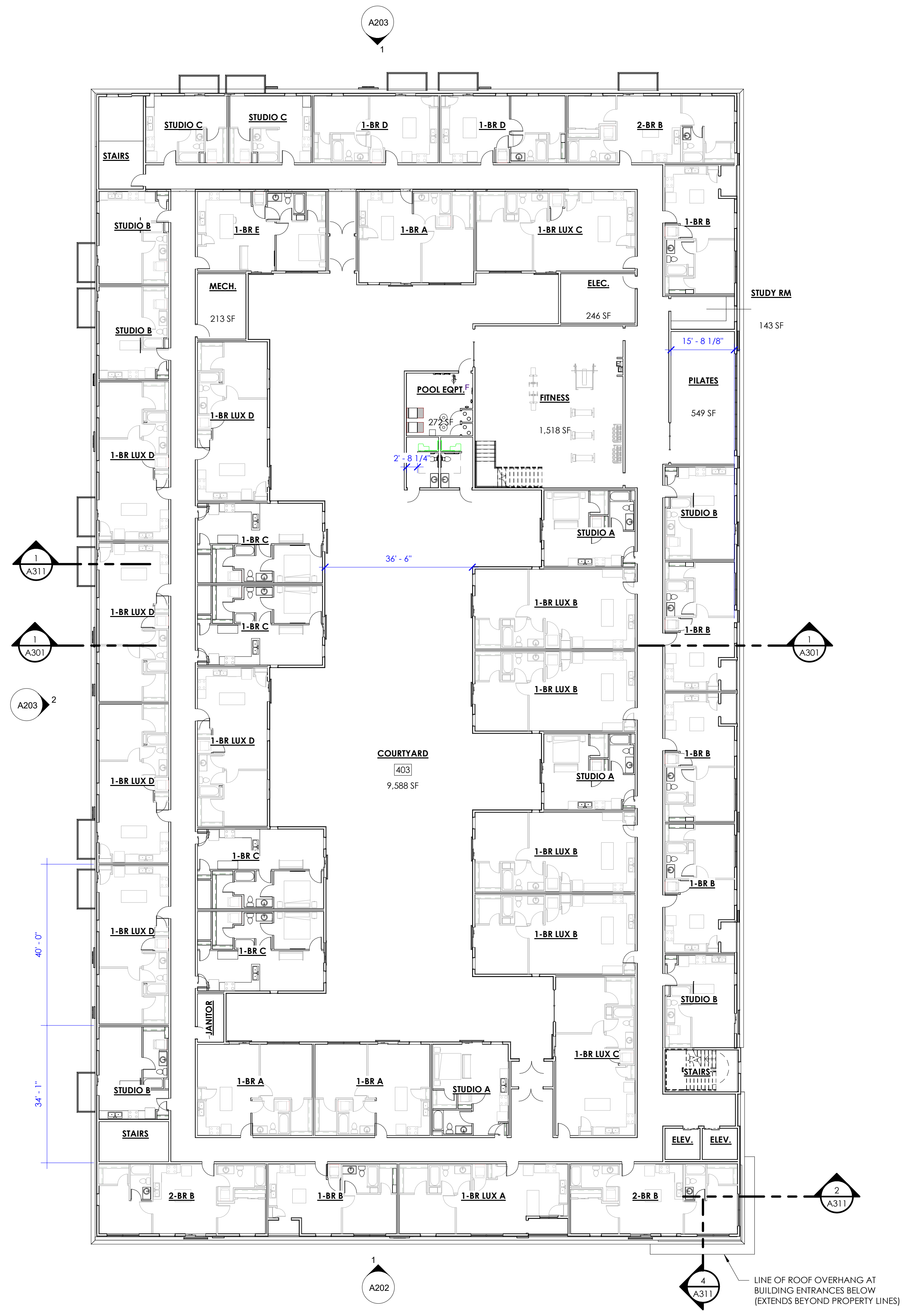
PARKING REQUIRED

0.5 STALLS PER UNIT (SLC STANDARDS)
 0.8 STALLS PER UNIT (PROPOSED BY OWNERSHIP)
PARKING PROVIDED
 MAIN LEVEL 78 (INCL. 6 ADA STALLS)
 RAMP 36
 SECOND LEVEL 50
 TOTAL 164 STALLS (.73 STALLS/UNIT)
 APPROX. 16 STREET STALLS AVAILABLE (.80 STALLS/UNIT)

PARKING STALL COUNTS, UNIT COUNTS AND SIZES ARE SUBJECT TO CHANGE AFTER ACCOUNTING FOR:
 • JURISDICTION REQUIREMENTS
 • SECONDARY BUILDING SPACES (MECH, ELEC, TELECOMM, JANITOR, ETC.)
 • UTILITY REQUIREMENTS (GAS & ELEC METERS, GENERATOR ROOM, ETC.)



2 THIRD LEVEL EXTERIOR LIGHTING PLAN
 1/32" = 1'-0"



1 THIRD LEVEL FLOOR PLAN
 1/16" = 1'-0"



UNIT COUNT

1-BR A	15
1-BR B	29
1-BR C	20
1-BR D	12
1-BR E	1
1-BR LUX A	5
1-BR LUX B	26
1-BR LUX C	14
1-BR LUX D	30
2-BR A	5
2-BR B	16
STUDIO A	15
STUDIO B	27
STUDIO C	11
Grand total	226

PROJECT GENERAL NOTES

1. ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
2. **DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
3. FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
4. PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
5. ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
6. FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
7. **ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE 'G' SHEETS.** IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.
8. CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
9. CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
10. ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.



4/9/2021 3:49:19 PM

THE HUXLEY
MILLER GENERAL CONTRACTORS
74 S. 600 W. SALT LAKE CITY, UT

MARK	Revision Schedule	Revision Date
	DESCRIPTION	

AE2020.270
UPPER LEVEL FLOOR PLANS

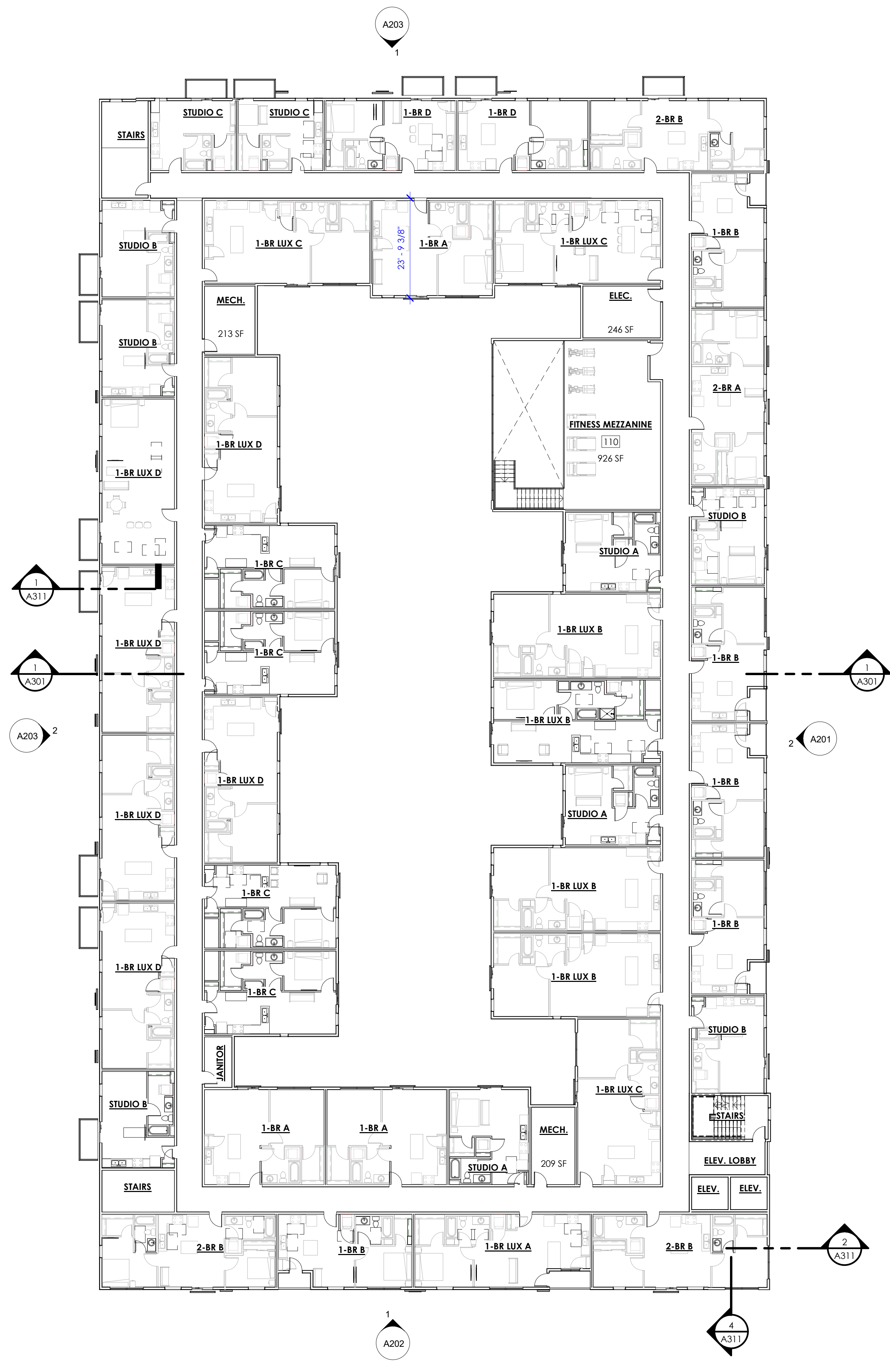
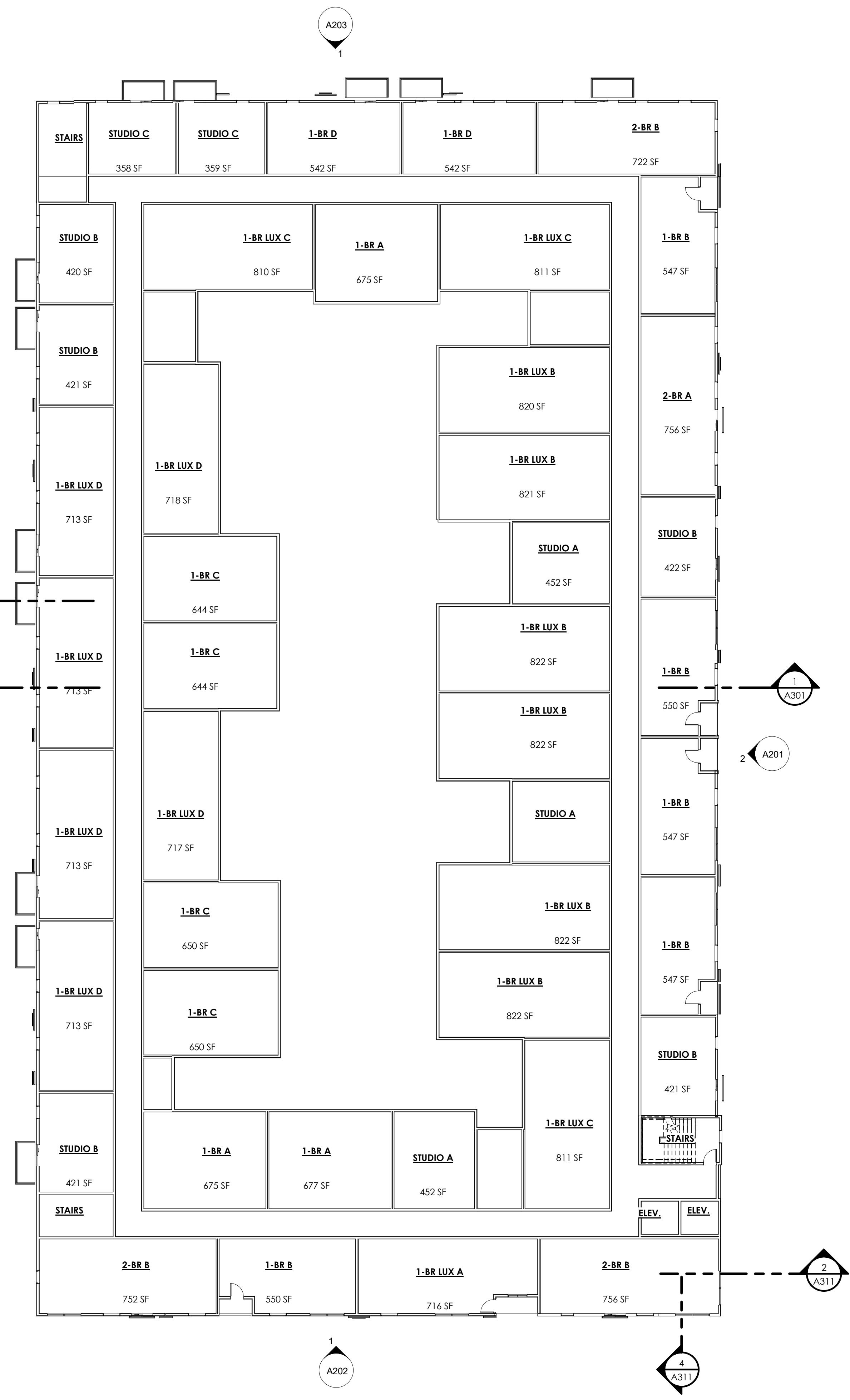
DATE: 4/9/2021 3:49:19 PM

SHEET #:

A104

COPYRIGHT © AEURBIA, LLC.

PLANNED DEVELOPMENT APPLICATION RESUBMITTAL BY APR 2021



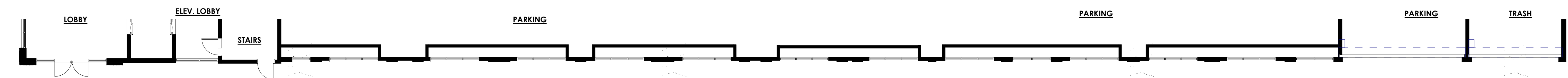
UNIT COUNT

1-BR A	15
1-BR B	29
1-BR C	20
1-BR D	12
1-BR E	1
1-BR LUX A	5
1-BR LUX B	26
1-BR LUX C	14
1-BR LUX D	30
2-BR A	5
2-BR B	16
STUDIO A	15
STUDIO B	27
STUDIO C	11
Grand total	226

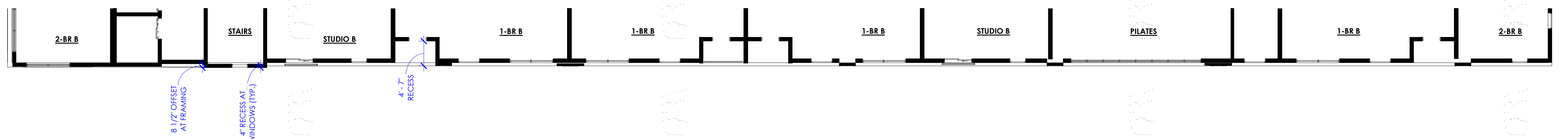




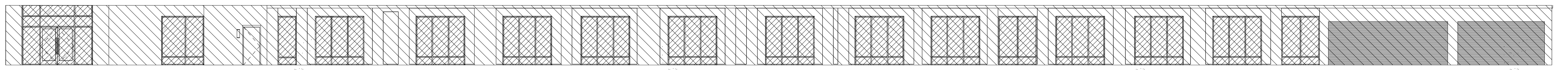
2 EAST ELEVATION
3/32" = 1'-0"



1 MAIN LEVEL FLOOR PLAN - WALL PROFILE
3/32" = 1'-0"



3 THIRD LEVEL FLOOR PLAN - WALL PROFILE
3/32" = 1'-0"



MAIN LEVEL EXTERIOR WALL = 3,134 SF
GLAZING = 1,255 SF (40%)

4 EAST ELEVATION - GLAZING CALCULATIONS
3/32" = 1'-0"



EAST EXTERIOR WALL = 22,024 SF
STUCCO/EIFS = 6,414 SF (29%)
ALL OTHER MATERIALS (BRICK, CMU, PATTERNED CONCRETE) = 15,610 SF (71%)

5 EAST ELEVATION - MATERIAL CALCULATIONS
1/32" = 1'-0"

- ### PROJECT GENERAL NOTES
- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
 - DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
 - FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CALL PENETRATIONS PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT W/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
 - ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
 - ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE "G" SHEETS.** IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK. CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE. CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
 - ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

- ### GENERAL NOTES - EXT. ELEVATIONS
- FRAMER SHALL COORDINATE WITH GENERAL CONTRACTOR REGARDING ALL EXTERIOR FINISH MATERIALS AND OFFSET FACE OF EXTERIOR STUD FRAMING FROM FACE OF CONC. WALL/SLAB TO ALLOW FACE OF FINISH TO BE CONTINUOUS.
 - ALL EXTERIOR STEEL (HANDRAILS, RAILINGS, ETC) SHALL BE PAINTED (2 COATS).
 - CAULK & SEAL ALL EXTERIOR OPENINGS (DOORS, WINDOWS) JOINTS & PENETRATIONS WITH CONTINUOUS SILICONE SEALANT - SEAL ALL JOINTS AT DISSIMILAR MATERIALS.
 - ALL FINISHES SHALL BE INSTALLED AND TERMINATE IN ACCORDANCE WITH MFR. RECOMMENDATIONS AND ON AN INSIDE CORNER. TERMINATE ALL FINISHES 6" ABOVE FINISH GRADE.
 - FINISH COLOR AT ALL TRIM ELEMENTS SHALL MATCH ADJACENT FASCIA & SOFFIT.
 - FINISH MATERIALS & TRIM SHOWN AT FACE OF WALL SHALL BE ASSUMED TO WRAP CORNERS & RETURN TO ADJACENT/REAR WALL UNLESS OTHERWISE NOTED.
 - ALL VENTS ON EXTERIOR OF BUILDINGS SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR - VERIFY COLOR W/ OWNER & ARCHITECT.
 - ALL EXTERIOR GLAZING AT MAIN LEVEL SHALL BE NON-REFLECTIVE - ALL OTHER GLAZING SHALL HAVE A MAX. 18% REFLECTIVITY.
 - ON SITE LIGHTING, INCLUDING ILLUMINATED SIGNS, SHALL BE LOCATED, DIRECTED OR DESIGNED IN A MANNER TO PREVENT GLARE ON ADJACENT PROPERTIES.

KEYNOTE LEGEND

04/002	BRICK / MASONRY - WHITE / LIGHT GREY
04/003	SPLIT-FACE CMU - STANDARD COLOR
05/001	42" STEEL GUARDRAIL (PAINT OR POWDER COATING) - RAILING SHALL ATTACH TO STRUCTURE AT BASE AND AT TOP RAIL
06/014	FRAMED CORNICE w/ EIFS OR STUCCO FINISH
07/014	STUCCO OR EXTERIOR INSULATION & FINISH SYSTEM - LIGHT COLOR - PROVIDE 3/4" V-GROOVE CONTROL/EXPANSION JOINTS AS SHOWN & AS REQ'D BY MFR.
07/015	STUCCO OR EXTERIOR INSULATION & FINISH SYSTEM - DARK COLOR - PROVIDE 3/4" V-GROOVE CONTROL/EXPANSION JOINTS AS SHOWN & AS REQ'D BY MFR.
08/001	BLACK VINYL WINDOW (TYP. AT UNIT WINDOWS - SEE WINDOW SCHEDULE) - LOCATE OPERABLE PANEL AWAY FROM HVAC VENTS, GAS & ELECT GEAR - TYP.
08/002	PRE-FINISHED ALUMINUM STOREFRONT SYSTEM AT DISPLAY WINDOWS AT STREET LEVEL.
08/003	PARKING GARAGE DOOR w/ METAL MESH - SEE DOOR SCHEDULE
08/004	STEEL OVERHEAD COILING DOOR AT TRASH ROOM - SEE DOOR SCHEDULE
08/005	PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
08/006	DOOR (SEE DOOR SCHEDULE)
10/006	BUILDING SIGNAGE (REQUIRES SEPARATE PERMIT)
26/003	EXTERIOR DOWN LIGHTING FIXTURE AT VEHICLE ENTRANCE/EXIT - SEE EXTERIOR ELEVATIONS GENERAL NOTES
26/004	EXTERIOR UP/DOWN LIGHTING FIXTURE AT PEDESTRIAN ENTRANCE/EXIT AND AT BUILDING COLUMNS - SEE EXTERIOR ELEVATIONS GENERAL NOTES

aeurbia
architects and engineers

909 West South Jordan Parkway
South Jordan, Utah 84095
phone: 801.746.0456 - fax: 801.575.6456
webpage: aeurbia.com

4/9/2021 3:49:31 PM

THE HUXLEY
MILLER GENERAL CONTRACTORS
74 S. 600 W. SALT LAKE CITY, UT

MARK	REVISION	DATE

AE2020.270
ELEVATION

DATE: 4/9/2021
3:49:31 PM

SHEET #:
A201

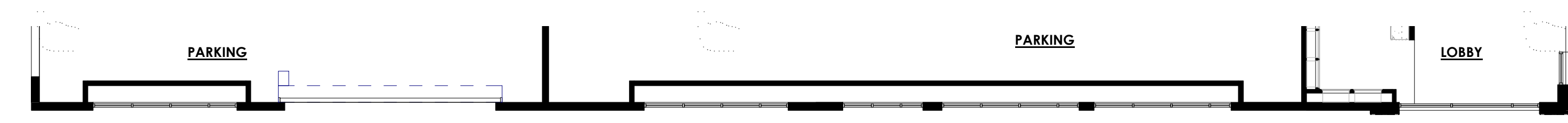
4/9/2021 3:49:31 PM
PLANNED DEVELOPMENT APPLICATION RESUBMITTAL OF APR 2021

COPYRIGHT ©
AEURBIA, LLC.

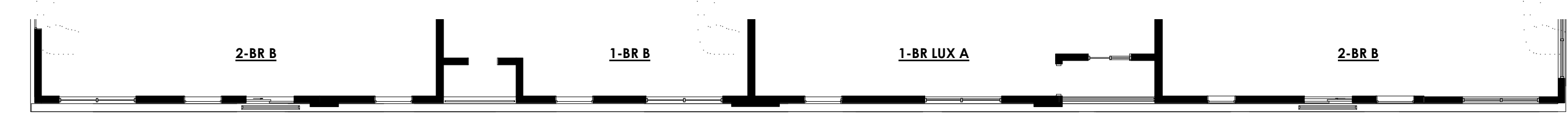




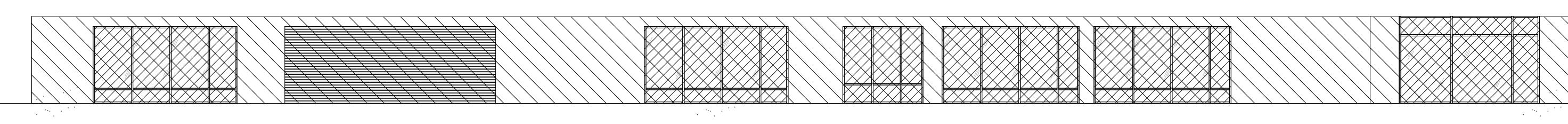
1 SOUTH ELEVATION
3/32" = 1'-0"



2 MAIN LEVEL FLOOR PLAN - WALL PROFILE
3/32" = 1'-0"

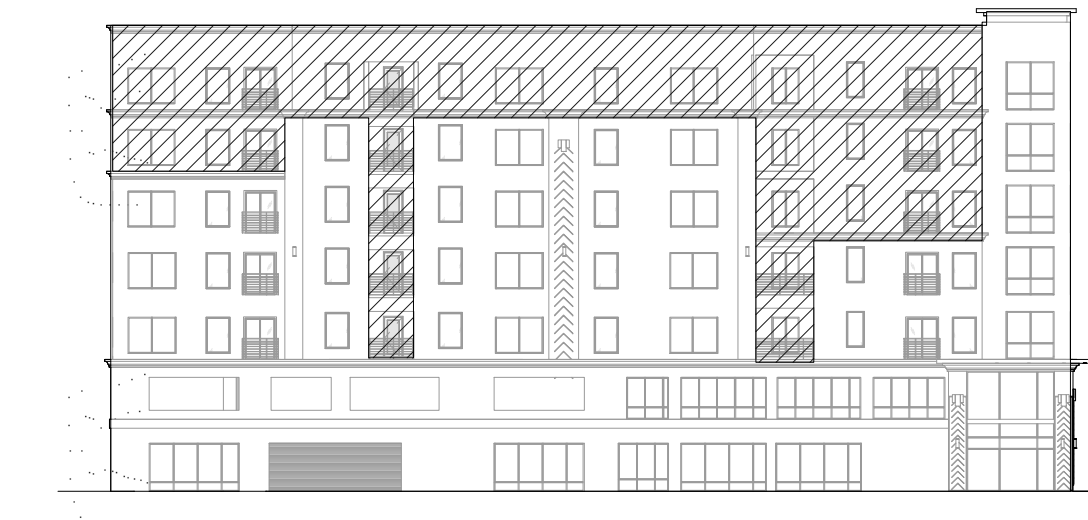


3 THIRD LEVEL FLOOR PLAN - WALL PROFILE
3/32" = 1'-0"



MAIN LEVEL EXTERIOR WALL = 1,445 SF
GLAZING = 666 SF (46%)

4 SOUTH ELEVATION - GLAZING CALCULATIONS
3/32" = 1'-0"



EAST EXTERIOR WALL = 12,456 SF
STUCCO/EIFS = 3,760 SF (30%)
ALL OTHER MATERIALS (BRICK, CMU, PATTERNED CONCRETE) = 8,696 SF (70%)

5 SOUTH ELEVATION - MATERIAL CALCULATIONS
1/32" = 1'-0"

PROJECT GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
- PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE 'G' SHEETS.** IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

GENERAL NOTES - EXT. ELEVATIONS

- FRAMER SHALL COORDINATE WITH GENERAL CONTRACTOR REGARDING ALL EXTERIOR FINISH MATERIALS AND OFFSET FACE OF EXTERIOR STUD FRAMING FROM FACE OF CONC. WALL/SLAB TO ALLOW FACE OF FINISH TO BE CONTINUOUS.
- ALL EXTERIOR STEEL (HANDRAILS, RAILINGS, ETC) SHALL BE PAINTED (2 COATS).
- CAULK & SEAL ALL EXTERIOR OPENINGS (DOORS, WINDOWS) JOINTS & PENETRATIONS WITH CONTINUOUS SILICONE SEALANT - SEAL ALL JOINTS AT DISSIMILAR MATERIALS.
- ALL FINISHES SHALL BE INSTALLED AND TERMINATE IN ACCORDANCE WITH MFR. RECOMMENDATIONS AND ON AN INSIDE CORNER, TERMINATE ALL FINISHES 6" ABOVE FINISH GRADE.
- FINISH COLOR AT ALL TRIM ELEMENTS SHALL MATCH ADJACENT FASCIA & SOFFIT.
- FINISH MATERIALS & TRIM SHOWN AT FACE OF WALL SHALL BE ASSUMED TO WRAP CORNERS & RETURN TO ADJACENT/REAR WALL UNLESS OTHERWISE NOTED.
- ALL VENTS ON EXTERIOR OF BUILDINGS SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR - VERIFY COLOR w/ OWNER & ARCHITECT.
- ALL EXTERIOR GLAZING AT MAIN LEVEL SHALL BE NON-REFLECTIVE - ALL OTHER GLAZING SHALL HAVE A MAX. 18% REFLECTIVITY.
- ON SITE LIGHTING, INCLUDING ILLUMINATED SIGNS, SHALL BE LOCATED, DIRECTED OR DESIGNED IN A MANNER TO PREVENT GLARE ON ADJACENT PROPERTIES.

KEYNOTE LEGEND

- 03/018 CAST-IN-PLACE CONCRETE WALL - STANDARD CONCRETE FORM EXTERIOR FINISH WITH UNFILLED TIE HOLES (ARCHITECTURAL CONCRETE) TYP. AT EXPOSED EXTERIOR CONCRETE (2 COATS SEALANT)
- 04/003 SPLIT-FACE CMU - STANDARD COLOR
- 07/014 STUCCO OR EXTERIOR INSULATION & FINISH SYSTEM - LIGHT COLOR - PROVIDE 3/4" V-GROOVE CONTROL/EXPANSION JOINTS AS SHOWN & AS REQ'D BY MFR.
- 08/002 PRE-FINISHED ALUMINUM STOREFRONT SYSTEM AT DISPLAY WINDOWS AT STREET LEVEL
- 08/003 PARKING GARAGE DOOR w/ METAL MESH - SEE DOOR SCHEDULE
- 08/005 PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
- 26/003 EXTERIOR DOWN LIGHTING FIXTURE AT VEHICLE ENTRANCE/EXIT - SEE EXTERIOR ELEVATIONS GENERAL NOTES
- 26/004 EXTERIOR UP/DOWN LIGHTING FIXTURE AT PEDESTRIAN ENTRANCE/EXIT AND AT BUILDING COLUMNS - SEE EXTERIOR ELEVATIONS GENERAL NOTES

aeurbia
architects and engineers
909 West South Jordan Parkway
South Jordan, Utah 84095
phone: 801.746.0456 - fax: 801.575.6456
website: aeurbia.com

4/9/2021 3:49:44 PM

THE HUXLEY
MILLER GENERAL CONTRACTORS
74 S. 600 W. SALT LAKE CITY, UT

MARK	REVISION	SCHEDULE	DATE

AE2020.270
ELEVATIONS

DATE: 4/9/2021
3:49:44 PM

SHEET #:

A202

COPYRIGHT ©
AEURBIA, LLC.





NORTH EXTERIOR WALL = 12,307 SF
 STUCCO/EIFS = 3,573 SF (29%)
 ALL OTHER MATERIALS (BRICK, CMU, PATTERNED CONCRETE) = 8,734 SF (71%)

3 NORTH ELEVATION - MATERIAL CALCULATIONS
 A203 1/32" = 1'-0"



1 NORTH ELEVATION
 A203 3/32" = 1'-0"



WEST EXTERIOR WALL = 21,998 SF
 STUCCO/EIFS = 5,575 SF (25%)
 ALL OTHER MATERIALS (BRICK, CMU, PATTERNED CONCRETE) = 16,423 SF (75%)

4 WEST ELEVATION - MATERIAL CALCULATIONS
 A203 1/32" = 1'-0"



2 WEST ELEVATION
 A203 3/32" = 1'-0"

PROJECT GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
- PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT W/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE "G" SHEETS.** IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

GENERAL NOTES - EXT. ELEVATIONS

- FRAMER SHALL COORDINATE WITH GENERAL CONTRACTOR REGARDING ALL EXTERIOR FINISH MATERIALS AND OFFSET FACE OF EXTERIOR STUD FRAMING FROM FACE OF CONC. WALL/SLAB TO ALLOW FACE OF FINISH TO BE CONTINUOUS.
- ALL EXTERIOR STEEL (HANDRAILS, RAILINGS, ETC) SHALL BE PAINTED (2 COATS).
- CAULK & SEAL ALL EXTERIOR OPENINGS (DOORS, WINDOWS) JOINTS & PENETRATIONS WITH CONTINUOUS SILICONE SEALANT-SEAL ALL JOINTS AT DISSIMILAR MATERIALS.
- ALL FINISHES SHALL BE INSTALLED AND TERMINATE IN ACCORDANCE WITH MFR. RECOMMENDATIONS AND ON AN INSIDE CORNER. TERMINATE ALL FINISHES 6" ABOVE FINISH GRADE.
- FINISH COLOR AT ALL TRIM ELEMENTS SHALL MATCH ADJACENT FASCIA & SOFFIT.
- FINISH MATERIALS & TRIM SHOWN AT FACE OF WALL SHALL BE ASSUMED TO WRAP CORNERS & RETURN TO ADJACENT/REAR WALL UNLESS OTHERWISE NOTED.
- ALL VENTS ON EXTERIOR OF BUILDINGS SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR - VERIFY COLOR W/ OWNER & ARCHITECT.
- ALL EXTERIOR GLAZING AT MAIN LEVEL SHALL BE NON-REFLECTIVE - ALL OTHER GLAZING SHALL HAVE A MAX. 18% REFLECTIVITY.
- ON SITE LIGHTING, INCLUDING ILLUMINATED SIGNS, SHALL BE LOCATED, DIRECTED OR DESIGNED IN A MANNER TO PREVENT GLARE ON ADJACENT PROPERTIES.

KEYNOTE LEGEND

- 03/018 CAST-IN-PLACE CONCRETE WALL - STANDARD CONCRETE FORM EXTERIOR FINISH WITH UNFILLED TIE-HOLES (ARCHITECTURAL CONCRETE) TYP. AT EXPOSED EXTERIOR CONCRETE (2 COATS SEALANT)
- 04/001 BRICK OR THIN BRICK W/ CONT. STEEL UNITS AT EACH FLOOR LINE - PROVIDE CONTROL/EXPANSION JOINTS AS REQ'D BY MFR. AND AT LOCATIONS WHERE BRICK BRIDGES ACROSS DISSIMILAR MATERIALS
- 04/003 SPLIT-FACE CMU - STANDARD COLOR
- 07/014 STUCCO OR EXTERIOR INSULATION & FINISH SYSTEM - LIGHT COLOR - PROVIDE 3/4" V-GROOVE CONTROL/EXPANSION JOINTS AS SHOWN & AS REQ'D BY MFR.
- 07/015 STUCCO OR EXTERIOR INSULATION & FINISH SYSTEM - DARK COLOR - PROVIDE 3/4" V-GROOVE CONTROL/EXPANSION JOINTS AS SHOWN & AS REQ'D BY MFR.
- 10/004 BUILDING SIGNAGE (REQUIRES SEPARATE PERMIT)
- 26/004 EXTERIOR UP/DOWN LIGHTING FIXTURE AT PEDESTRIAN ENTRANCE/EXIT AND AT BUILDING COLUMNS - SEE EXTERIOR ELEVATIONS GENERAL NOTES



4/9/2021 3:49:55 PM

THE HUXLEY
 MILLER GENERAL CONTRACTORS
 74 S. 600 W. SALT LAKE CITY, UT

MARK	REVISION	DESCRIPTION	REVISION DATE

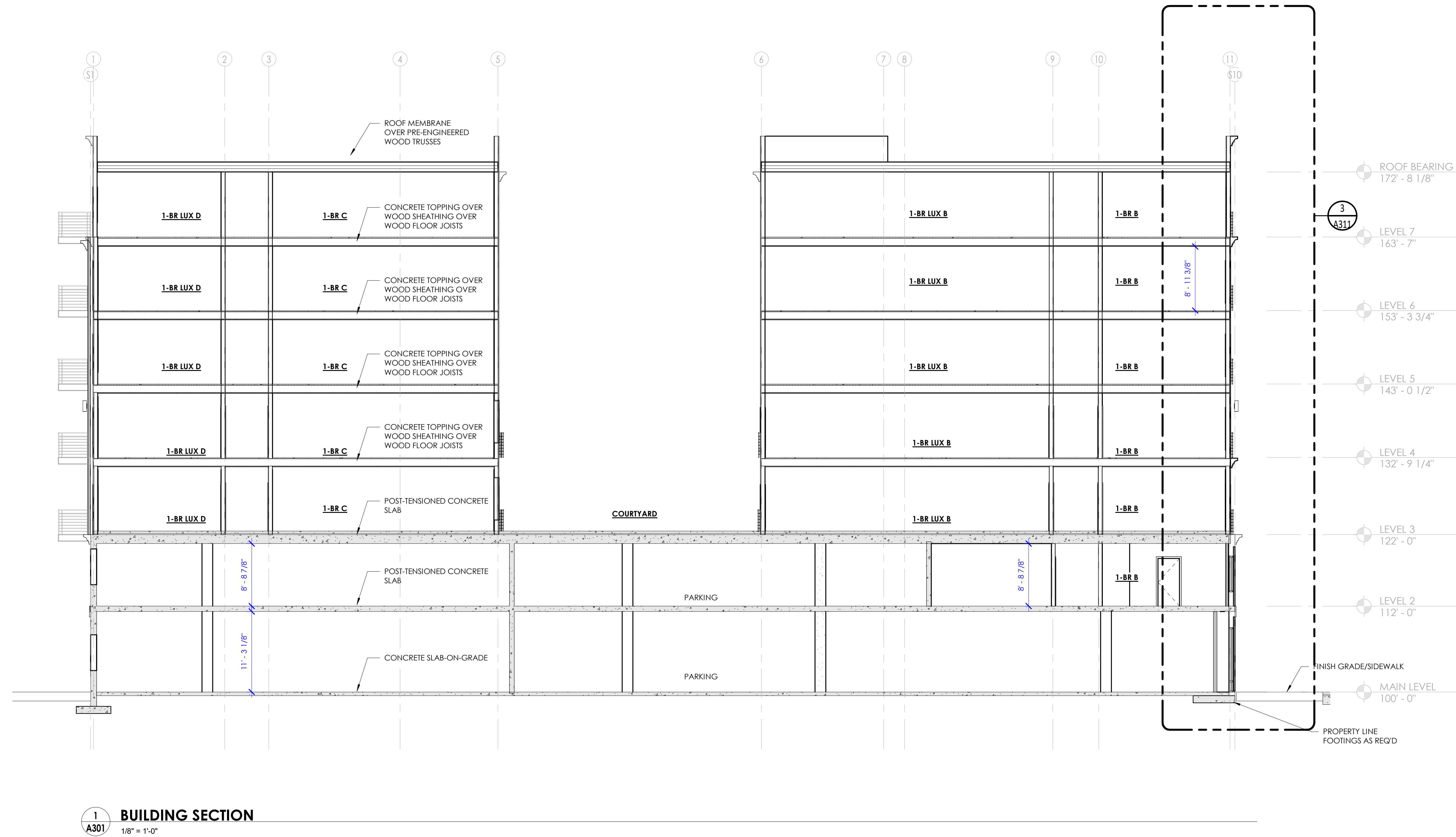
AE2020.270
ELEVATIONS

DATE: 4/9/2021
 3:49:55 PM

SHEET #:

A203

COPYRIGHT ©
 AEURBIA, LLC.



1
A301 **BUILDING SECTION**
1/8" = 1'-0"

PROJECT GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO EXTERIOR GRID LINES UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
- PROVIDE CAULKING AND MIN. 3" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE "G" SHEETS.** IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

aeurbia
architects and engineers
909 West South Jordan Parkway
South Jordan, Utah 84095
phone: 801.746.0456 - fax: 801.575.6456
website: aeurbia.com

4/9/2021 3:49:56 PM

THE HUXLEY
MILLER GENERAL CONTRACTORS
74 S. 600 W. SALT LAKE CITY, UT

MARK	Revision Schedule DESCRIPTION	Revision Date

PLANNED DEVELOPMENT APPLICATION RESUBMITTAL BY APR 2021

AE2020.270

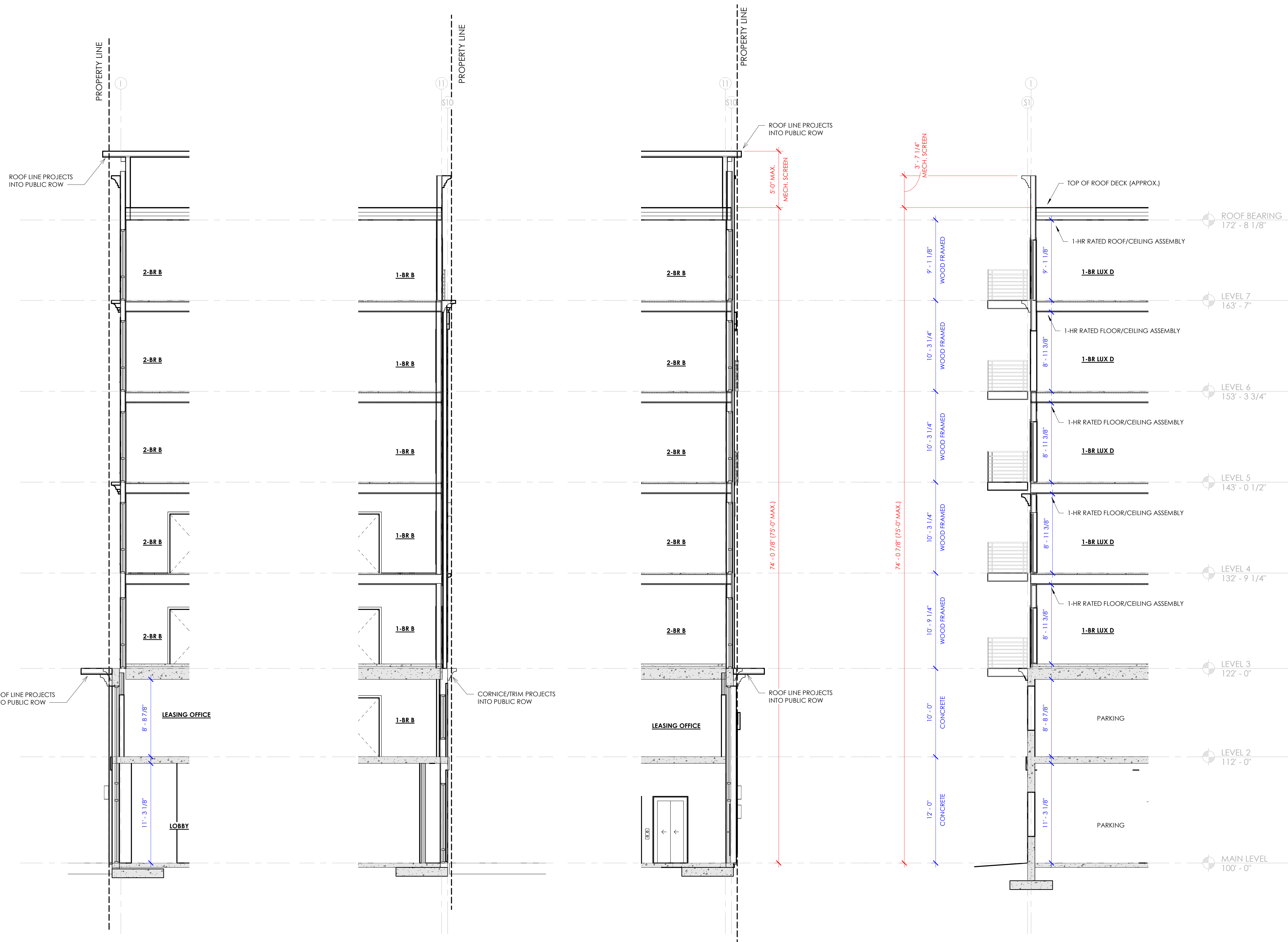
BUILDING SECTIONS

DATE: 4/9/2021 3:49:56 PM

SHEET #:

A301

COPYRIGHT © AEURBIA, LLC.



4 WALL SECTION - SOUTH WALL
A311 3/16" = 1'-0"

3 WALL SECTION - EAST WALL
A311 3/16" = 1'-0"

2 WALL SECTION - EAST WALL
A311 3/16" = 1'-0"

1 WALL SECTION - WEST WALL
A311 3/16" = 1'-0"

PROJECT GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS.** ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CALK ALL PENETRATIONS.
- PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE 'G' SHEETS.** IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.

PROJECT DATA

G-MU ZONE

SITE BOUNDARY 47,900 SF (1.10 ACRES)

2 LEVELS CONCRETE STRUCTURED PARKING (TYPE I CONSTRUCTION)

5 LEVELS WOOD-FRAMED HOUSING (TYPE III CONSTRUCTION)
CLUBHOUSE / FITNESS 2,093 SF

BUILDING FOOTPRINT 45,510 SF (+/-)

LEASING OFFICE 2,234 SF

BUILDING HEIGHT ALLOWED 75'
BUILDING HEIGHT PROPOSED 75'-0"

FRONT SETBACK 0'
(MIN. 25% OF FACADE SHALL BE BUILT TO WITHIN 5' OF STREET RIGHT-OF-WAY)

SIDE YARD SETBACK 0'
REAR YARD SETBACK 0'

UNIT MATRIX

1-BR A	15 UNITS	34%
1-BR B	29 UNITS	
1-BR C	20 UNITS	
1-BR D	12 UNITS	
1-BR E	1 UNIT	
1-BR LUX A	5 UNITS	33%
1-BR LUX B	26 UNITS	
1-BR LUX C	14 UNITS	
1-BR LUX D	30 UNITS	
2-BR A	5 UNITS	9%
2-BR B	16 UNITS	
STUDIO A	15 UNITS	24%
STUDIO B	27 UNITS	
STUDIO C	11 UNITS	
TOTAL	226 UNITS	
DENSITY:	205 UNITS / ACRE	

AREA CALCULATIONS AND UNIT COUNTS ARE APPROXIMATE AND SUBJECT TO CHANGE

PARKING REQUIRED

0.5 STALLS PER UNIT (SLC STANDARDS)

0.8 STALLS PER UNIT (PROPOSED BY OWNERSHIP)

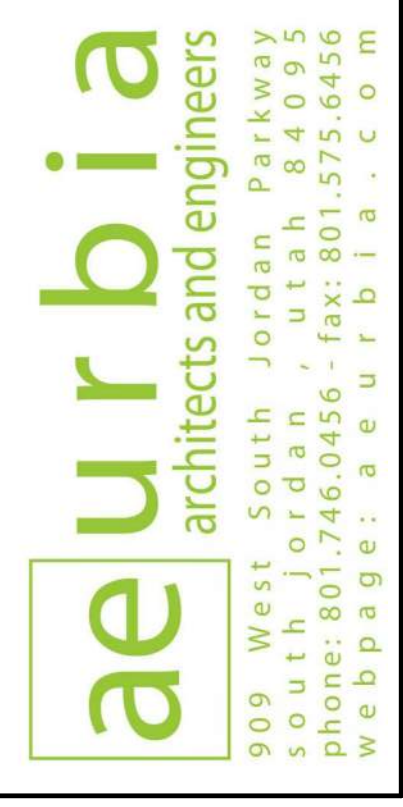
PARKING PROVIDED

MAIN LEVEL	78 (INCL. 6 ADA STALLS)
RAMP	36
SECOND LEVEL	50
TOTAL	164 STALLS (.73 STALLS/UNIT)

APPROX. 16 STREET STALLS AVAILABLE (.80 STALLS/UNIT)

PARKING STALL COUNTS, UNIT COUNTS AND SIZES ARE SUBJECT TO CHANGE AFTER ACCOUNTING FOR:

- JURISDICTION REQUIREMENTS
- SECONDARY BUILDING SPACES (MECH, ELECT, TELECOMM, JANITOR, ETC.)
- UTILITY REQUIREMENTS (GAS & ELECT METERS, GENERATOR ROOM, ETC.)



4/9/2021 3:50:00 PM

THE HUXLEY
MILLER GENERAL CONTRACTORS
74 S. 600 W. SALT LAKE CITY, UT

MARK	DESCRIPTION	Revision Date

AE2020.270
WALL SECTIONS

DATE: 4/9/2021
3:50:00 PM

SHEET #:
A311

COPYRIGHT ©
AEURBIA, LLC.